

Staff Report – Plan Commission

Docket #:	PC2023-007 Center Grove PUD	Hearing Date:	February 13, 2023
Address:	3111 S SR 135 (Parcels 41-04-13-023-028.000-040, 41-04-13-032-028.001-040, and 41-04-13-023-029.000-040)		
Applicant:	Scott Weathers, Advenir Oakley Capital		
Owner:	Ellis Park, LLC by Lushin Investments/ George E Ellis Excavating & Engineering		
Staff Contact:	Gabe Nelson, nelsong@greenwood.in.gov , 317.887.5230		

Request:

The petitioner seeks approval of a rezone from CL and AG to PUD District Ordinance to allow three distinct areas: Commercial Mixed-Use, Multi-Family (Vertical), and Multi-Family (Cottage).

As shown on the conceptual site plan, the Center Grove Park PUD District development will consist of three distinct areas: Commercial Mixed-Use, Multi-Family (Vertical), and Multi-Family (Cottage). The Commercial Mixed-Use area will cover approximately 10-12 acres and consist of up to 150,000 SF of commercial, office, and retail uses. The Multi-Family (Vertical) area will be oriented within 3 and 4-story buildings comprised of up to 250 apartment units in 1, 2, 3-bedroom configuration, ranging in size between +/- 600 and +/- 1,500 square feet. The Multi-Family (Cottage) area (Single-Family-Rental portion of the development) will be comprised of up to 325 single-family attached and detached 1, 2, and 3-bedroom residences, ranging in size between +/- 600 and +/- 1,500 square feet. Each of the multi-family components will have their own active amenity areas that will include, but not be limited to, fitness room, pool deck, and lounge areas, as well as a system of interconnected passive amenity areas such as pocket parks and walking trails that will be available for all residents of the Greenwood community to enjoy. The development also provides for large areas of Common Area.

Location:

The subject properties, on the east side State Road 135 (Parcels 41-04-13-023-028.000-040, 41-04-13-032-028.001-040, and 41-04-13-023-029.000-040), is inclusive of the address 3111 S State Road 135.

Existing & Surrounding Land Use:

The property is zoned (CL) Commercial Large and (AG) Agricultural. The current use is agricultural.

- North- (CL) Commercial Large - Greenwood
- South- (AG) Agriculture - Greenwood
- East- (AG) Agriculture - Greenwood
- West- (C3) General Business - Bargersville

See Attached Vicinity Map – Exhibit B

Ordinance References:

- Resolution No. 07-12, Greenwood Comprehensive Plans
- Ord. No. 20-29 UDO

Review Considerations:

Plan Commission and the legislative body shall consider as many of the following as may be relevant to the specific proposal:

1. The extent to which the Planned Unit Development meets the purposes of this Ordinance, the Comprehensive Plan, and any other adopted planning objectives of the City.
2. The extent to which the proposed plan meets the requirements, standards, and stated purpose of the Planned Unit Development regulations.

3. The extent to which the proposed plan departs from the zoning and subdivision regulations otherwise applicable to the subject property, including but not limited to the density, dimension, bulk, use required improvements, and construction and design standards and the reasons which such departures are or are not deemed to be in the public interest.
4. Whether proposal will not be injurious to the public health, safety, and general welfare.
5. The physical design of the Planned Unit Development and the extent to which it makes adequate provision for public services, provides adequate control over vehicular traffic, provides for and protects designated permanent open space, and furthers the amenities of light and air, recreation, and visual enjoyment.
6. The relationship and compatibility of the proposed plan to the adjacent properties and neighborhood, and whether the proposed plan would substantially interfere with the use or diminish the value of adjacent properties and neighborhoods.
7. The desirability of the proposed plan to the City's physical development, tax base, and economic well-being.
8. The proposal will not cause undue traffic congestion and can be adequately served by existing or programmed public facilities and services.
9. The proposal preserves significant ecological, natural, historical, and architectural resources to the extent possible.

Comments and Petitioner's Findings of Fact:

The petitioner requests to rezone the real estate consisting of parcel ID's 41-04-13-023-028.000-040 (48.05 acres), 41-04-13-023-029.000-040 (1.17 acres), and 41-04-13-032-028.001-040 (27.62 acres) from their current Commercial Large Format and Agricultural zoning designations to PUD. The Future Land Use Map designates this property for mixed-use development. With additional housing being developed at SR 135 and CR 700, combined with diverse housing options within this PUD, provides the necessary population to develop a substantial commercial node that can thrive in the area without the necessity for significant vehicular travel beyond a 2 to 3 mile radius. With pedestrian friendly connectivity planned for the community and surrounding developments, there is better opportunity for residents to have the live/work/play lifestyle within walking distance to amenities and services. A majority of the property is currently zoned for Large Commercial which, if developed to its fullest capacity, would have a severe detrimental impact to the community. This mix of uses provides a more compatible, self-sustaining development opportunity. This infill project has direct access to existing utility infrastructures and facilities in the area, including water, sewer, and electrical connections, without the need for significant infrastructure improvements.

The following represents the petitioner's findings and the staff's comments on those findings:

The Comprehensive Plan

The petitioner has indicated that this request complies with the Comprehensive Plan in the following way(s):

FUTURE LAND USE MAP - Page 65

Per the Future Land Use Map in the Comprehensive Plan, the property has been designated as "Mixed-Use", and Developer intends to adhere to the Future Land Use Map by providing a multitude of uses, including commercial, retail, office, single-family-rental, and traditional multi-family components, and so adhering to the desired zoning designation for the property

LAND USE

Goal #1 - Quality Managed Growth (Page 37): The proposed development is adjacent to the existing urban infrastructure permitting direct connection to existing water, sanitary, electric, and storm water infrastructure without the need for expansion or improvements.

Goal #2 - Distinct, Attractive, and Strong Identity for the City (Page 37): The development will utilize craftsman style architectural design, further detailed in the Conditions of Approval, providing for a cohesive and homogeneous aesthetic that will blur the lines between each section of the development. Furthermore, the development will utilize a system of interconnected streets

and sidewalks, allowing residents to utilize the new commercial area without adding vehicular traffic to Greenwood's existing roadways.

Goal #3 - Protect and Preserve Existing Open Spaces (Page 37-38): The development is located on old agricultural land that previously housed pesticides and underground fuel storage tanks. As such, the proposed development will not impact environmentally sensitive areas and will improve the overall characteristics of the surrounding community.

Goal #4 - Provide for Housing Needs (Page 38): The housing types included as part of the proposed development provide a diverse range of housing options for existing and potential residents in Greenwood. Having both traditional vertical apartment units combined with single family rental units provides a wide array of price points for the new occupant trend that is renter by choice. These units will be suitable for young professionals, young families, teachers, first responders, nurses, retirees, and other working-class individuals and families.

In addition, the master planned development will incorporate a system of interconnected roads and sidewalks connecting its residents to both active and passive amenities, as well as providing direct access to the commercial space that will be located at the SR 135 corridor.

Goal #5 - Locate Industrial and Commercial in Appropriate Places (Page 38): The commercial space is designated to border the street frontage along the SR 135 corridor, providing direct access along one of the City's major corridors for both resident and non-resident use by the surrounding community.

TRANSPORTATION (Page 38-39)

Utilizing a master planned development approach, the Developer can optimize a system of interconnected streets, sidewalks and paths within the project, providing varied mobility and access connections for both residents of the development and the surrounding community. In addition, the proposed development will provide the necessary right-of-way for the proposed expansion of SR 135 and will install a parallel arterial roadway between the commercial and single-family rental portions of the development.

URBAN DESIGN

Goal #2 - Accessible and Inviting Greenspaces (Page 41): The development will not be gated and will provide open access for both residents of the development and those of the surrounding community to utilize the open green spaces and walking trails. The development will implement various traffic controls to provide a series of safe and effective pedestrian crossing points.

Goals #3 and #4 - Flexible but Identifiable Greenwood Themes (Page 41): Being a master planned community, Developer will utilize the craftsman style design theme incorporated throughout Greenwood in order to provide a cohesive and unique design aesthetic that will enhance the community. As shown in the conditions of approval, the design aesthetics will utilize many of the elements already existing within the Greenwood community.

Staff Comment: Staff agrees that the petitioner's request complies with the Comprehensive Plan. The mixed-use, master planned community provides for a variety of use and is identified as the most desirable land use along SR 135. Exhibit E shows the most recent adopted Future Land Use Map (adopted December 17, 2012) showing the area as Mixed-Use.

Current conditions and the character of current structures and uses in each district;

The petitioner has indicated that this request complies with the current conditions and the character of current structures and uses in each district in the following way(s), *"As the property under review has been designated for mixed-use development within the City's Comprehensive Plan and adheres to numerous goals and objectives laid out in the Comprehensive Plan, the proposed development complies*

with approved structures and uses for this area of the City. The development will incorporate a variety of housing types, as well as commercial, retail, and office uses that will enhance the surrounding community. Being an infill development in an already developed area of Greenwood, the Developer has confirmed the existing infrastructure meets the requirements to serve this development.”

Staff Comment: Staff agrees with the petitioner’s statement.

The most desirable use for which the land in each district is adapted;

The petitioner described, “As the property under review has been designated for mixed-use development within the City’s Comprehensive Plan and adheres to several of the goals and objectives laid out in the Plan, the proposed development will incorporate a variety of housing types as well as commercial, retail, and office uses that will enhance the surrounding community. Developing varied but complementary uses should attract residents to enjoy these amenities.”

Staff Comment: Page 61 of our Comprehensive Plan notes that, “Due to their nature and the foreseeable needs of the city, mixed-use, master planned communities are the most desirable land use for the Area of Interest east of I-65 and south along the SR 135 commercial corridor”. The PUD zoning district promotes the development of a unique product that merges commercial and residential uses. Without the PUD zoning district it would be difficult to create a mixed use development that uses the land in a way that has been identified as the most appropriate use for the land.

The conservation of property values throughout the jurisdiction; and

The petitioner has indicated that this request will not negatively affect the property values throughout Greenwood because, “In addition to fulfilling the designated land use per the Comprehensive Plan, with the enhanced design features and intentional layout of the multifamily components of the proposed PUD in an already developed area of Greenwood that has the necessary infrastructure in place, combined with the commercial node designated along the SR 135 corridor that is buffered from the fee simple communities to the west of SR 135, the development will more likely enhance the property values of the surrounding community. This idea is further confirmed by a study completed by Mark Obrinsky and Debra Stein of Harvard University, that has found that multi-family housing: (1) does not impose a greater cost on local governments; (2) does not increase traffic and parking problems; and (3) when well-designed and appropriate to the neighborhood, does not reduce (and may even enhance) property values.”

Staff Comment: Staff agrees with the petitioner’s statement.

Responsible development and growth.

The petitioner has indicated that this request is considered responsible development and growth because: “The proposed development rezoned as a PUD is consistent with several of the Comprehensive Plan’s goals and objectives and will provide a viable, logical, and sustainable growth pattern for Greenwood. As a mixed-use development, the project will provide both housing and commercial uses in an already developed area with existing infrastructure. The housing types included within the development provide a diverse range of housing options that will feed the commercial space to sustainably grow the SR 135 corridor.”

Staff Comment: By providing a mix of commercial and residential uses, the development is responsibly growing the City of Greenwood as they bring in the potential for business/jobs while providing housing options. Integrating both commercial and residential uses creates a self-contained neighborhood that minimizes the need for residents to solely rely on car travel. The incorporation of Common Areas, and paths/sidewalks also encourages active transportation and promotes well-being.

Recommendation:

Staff **recommends a favorable recommendation** of this petition. The PUD (Planned Unit Development) blends commercial uses, residential uses, and open space to provide for a community where residents can live, work, and play. The combination of these uses not only enhances the quality of life for residents but also contributes to the overall vitality and sustainability of the community. Communities such as the proposed Center Grove PUD have the potential to mitigate traffic congestion by permitting the development of neighborhood commercial uses.

Our Comprehensive Plan calls for Mixed-Use development in its Future Land Use Map as the “most desirable land use”. This is exactly what the Center Grove PUD provides. Additionally, during the development of the Concept Plan for the Center Grove PUD, staff and the petitioners made every effort to design the site so that it is compatible with the surrounding area. This includes providing commercial uses adjacent to 135, adding pedestrian and vehicular connectivity throughout the community, and adding stub streets for future developments to tie into.

Staff recommends a **favorable** recommendation with the following conditions:

1. Street improvements shall be completed in collaboration with City Engineer
2. Trails shall be incorporated in the Common Areas.
3. Site design elements such as sidewalk connectivity, street crossings, elements of street design (turn lanes, traffic calming), lighting, landscaping shall be reviewed and worked through with Master Plan submittal.
4. Petitioner and Staff will work through/agree upon design as well as traffic calming measures for Pub Street B.
5. .Planning Staff shall review all ground signs prior to placement.

All conditions shall be addressed before an LAP is released.

Attachments:

Exhibit A – Preliminary Site Plan and PUD Zoning Exhibit

Exhibit B – Vicinity Map

Exhibit C – Existing Zoning Maps

Exhibit D – Legal Description

Exhibit E – Greenwood Comprehensive Plan Proposed Land Use

Exhibit F – Construction Phasing Plan

Exhibit G - Center Grove Park PUD District Ordinance

Exhibit H – Center Grove Concept Plan / Feasibility Report

Exhibit A – Preliminary Site Plan and PUD Zoning Exhibit



PUD ZONING EXHIBIT

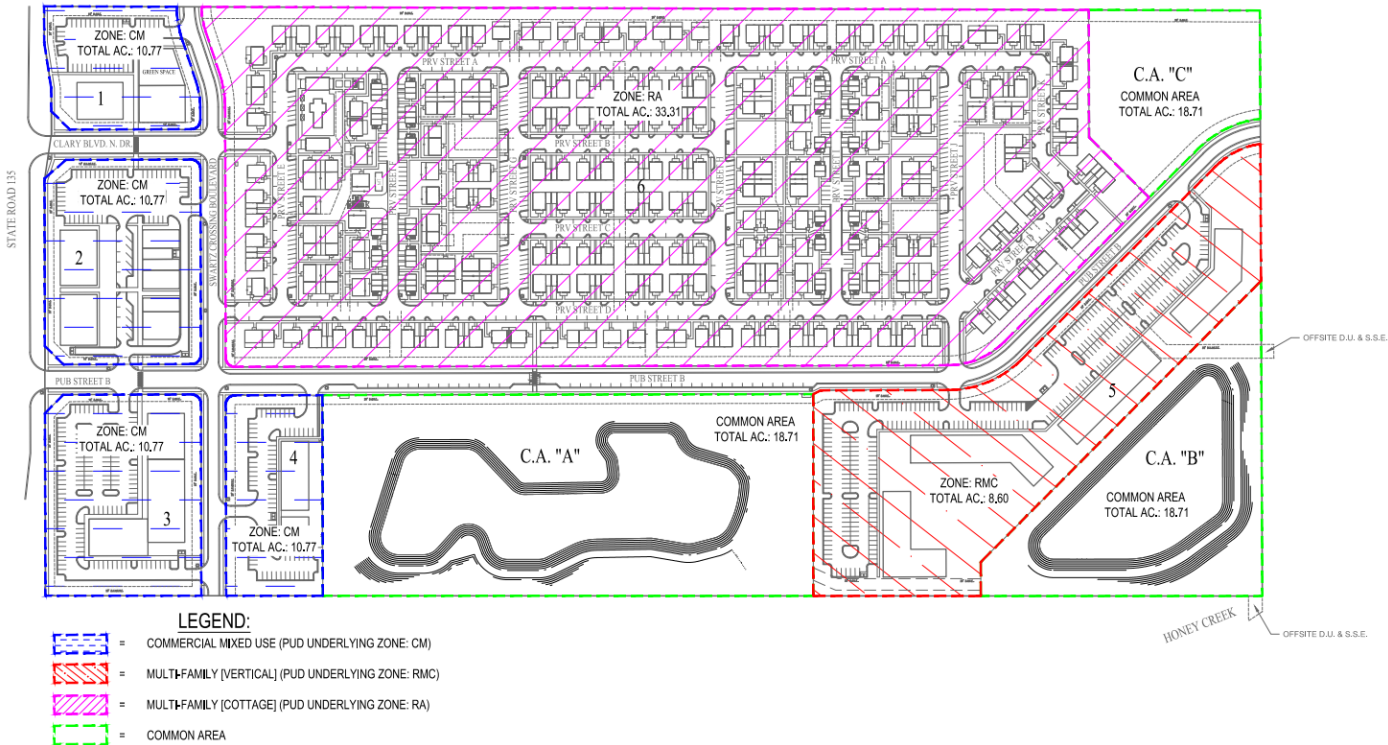
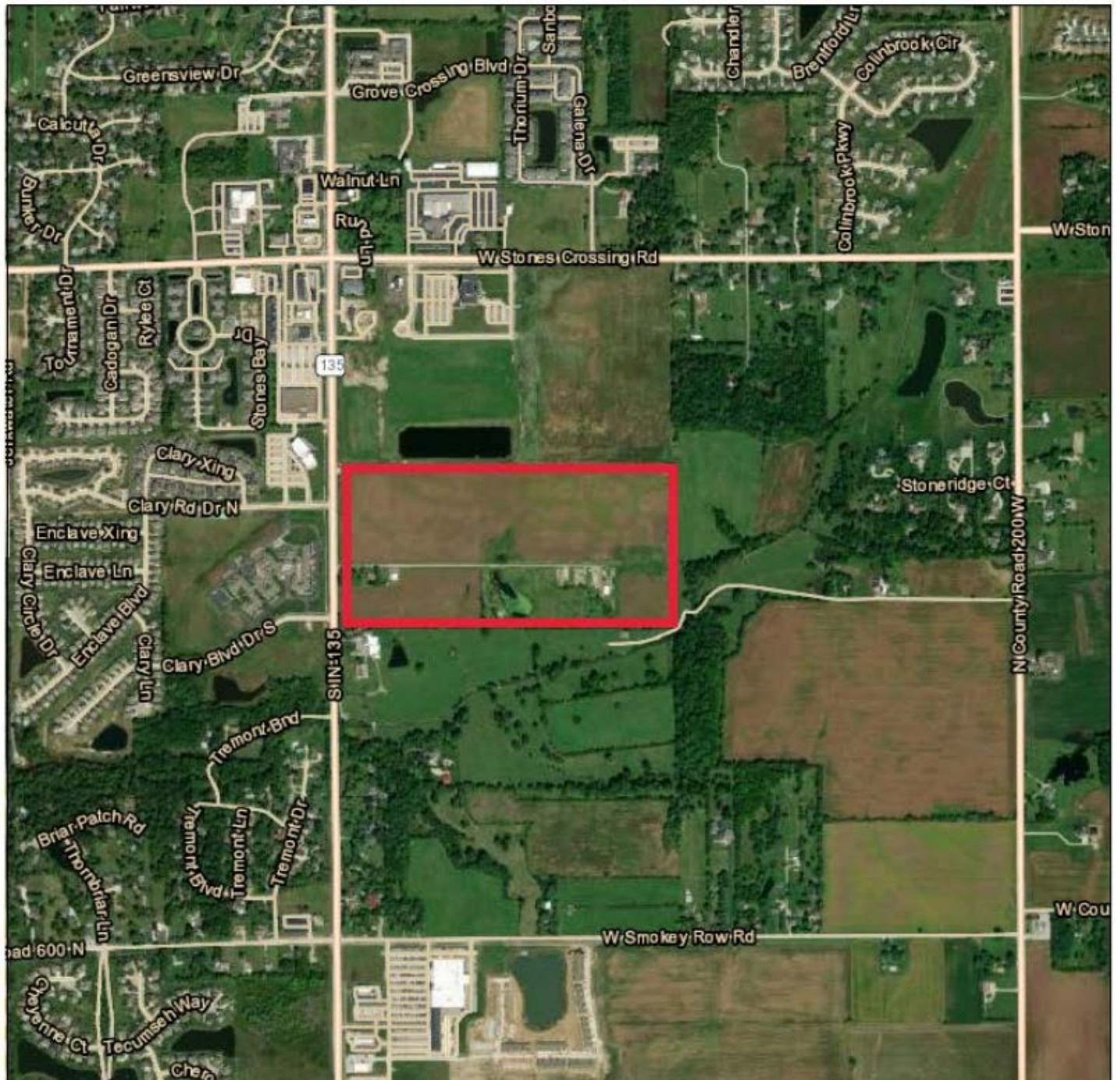
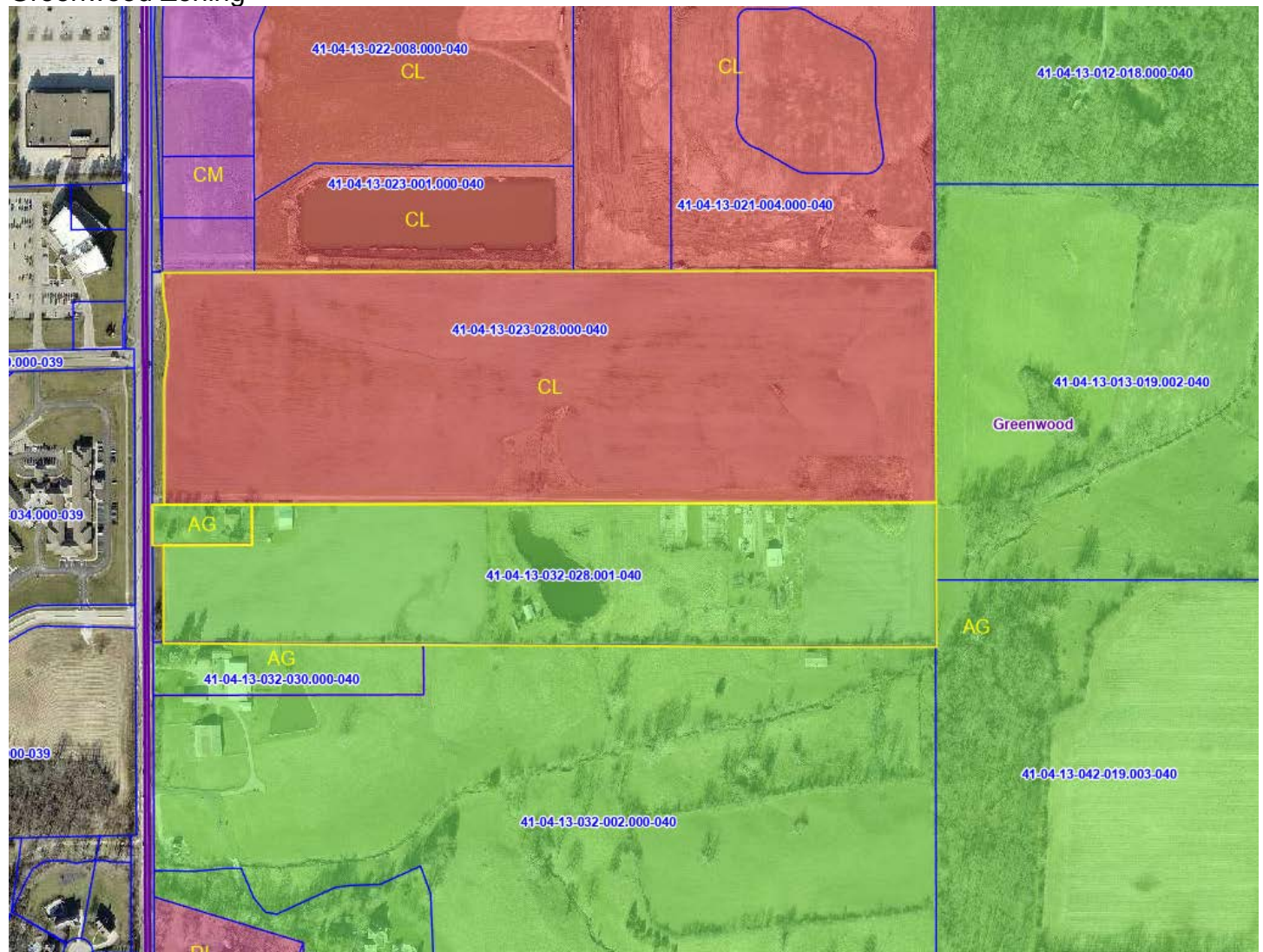


Exhibit B – Vicinity Map



Greenwood Zoning



Bargersville Zoning

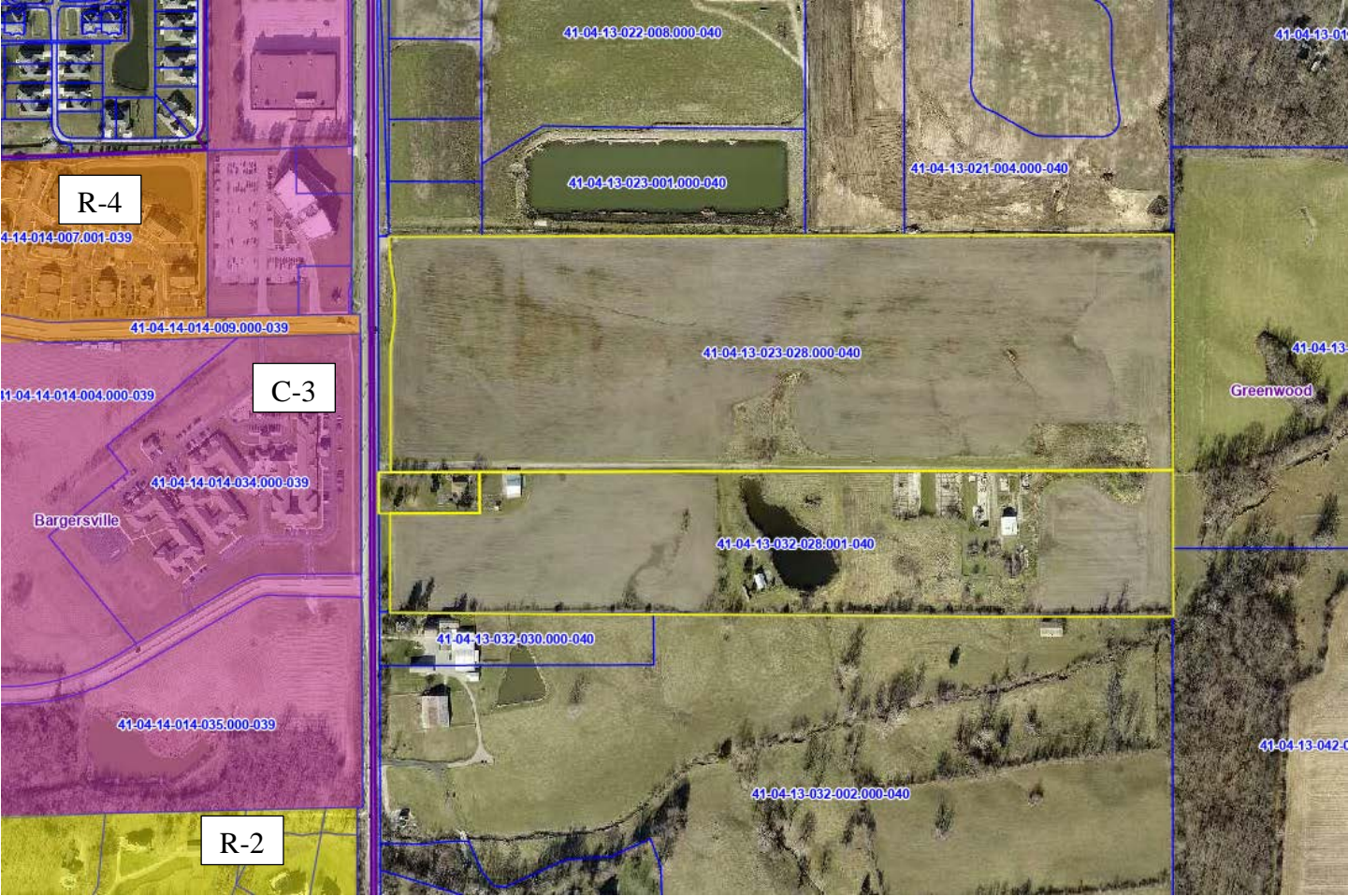


Exhibit D – Legal Description

Legal Description

Part of the Northwest Quarter and part of the Southwest Quarter of Section 13, Township 13 North, Range 3 East of the Second Principal Meridian, White River Township, in Johnson County, Indiana, described as follows:

Commencing at the Southwest corner of said Northwest Quarter; thence North 00 degrees 11 minutes 30 seconds West (assumed bearing) 98.45 feet on the West line of said quarter to the Point of Beginning of this description; thence North 00 degrees 11 minutes 30 seconds West 138.06 feet along said West line; thence South 89 degrees 56 minutes 49 seconds East 67.07 feet to the easterly right of way line of State Road 135 recorded in Instrument No.: 2009-024821 in the Office of the Recorder of Johnson County, Indiana; thence along the easterly right of way of said State Road 135 by the next five (5) courses: 1) North 00 degrees 07 minutes 23 seconds West 424.45 feet; 2) North 08 degrees 24 minutes 29 seconds East 101.12 feet; 3) North 00 degrees 07 minutes 22 seconds West 100.00 feet; 4) North 08 degrees 39 minutes 13 seconds West 101.12 feet; 5) North 00 degrees 07 minutes 21 seconds West 78.08 feet to the south line of the Replat of Swartz Crossing Commercial Subdivision, recorded as Inst. No.: 2019-009111, Plat Cabinet E, Page 378 in said Recorder's Office; thence South 89 degrees 48 minutes 15 seconds East 2,641.90 feet along said south line to the east line of said quarter section; thence South 00 degrees 14 minutes 03 seconds East 1,271.59 feet along said east line to the south line of the George E. Ellis Excavating Engineer, Inc. property described in Instrument Number 2015-029725 recorded in said Recorder's Office; thence North 89 degrees 58 minutes 52 seconds West 2,644.39 feet along said south line to said easterly right of way line of State Road 135; thence North 00 degrees 07 minutes 25 seconds West 339.15 feet along said right of way line; thence North 89 degrees 56 minutes 49 seconds West 67.07 feet to the point of beginning, and containing 77.548 acres, more or less.

Exhibit E – Greenwood Comprehensive Plan Proposed Land Use

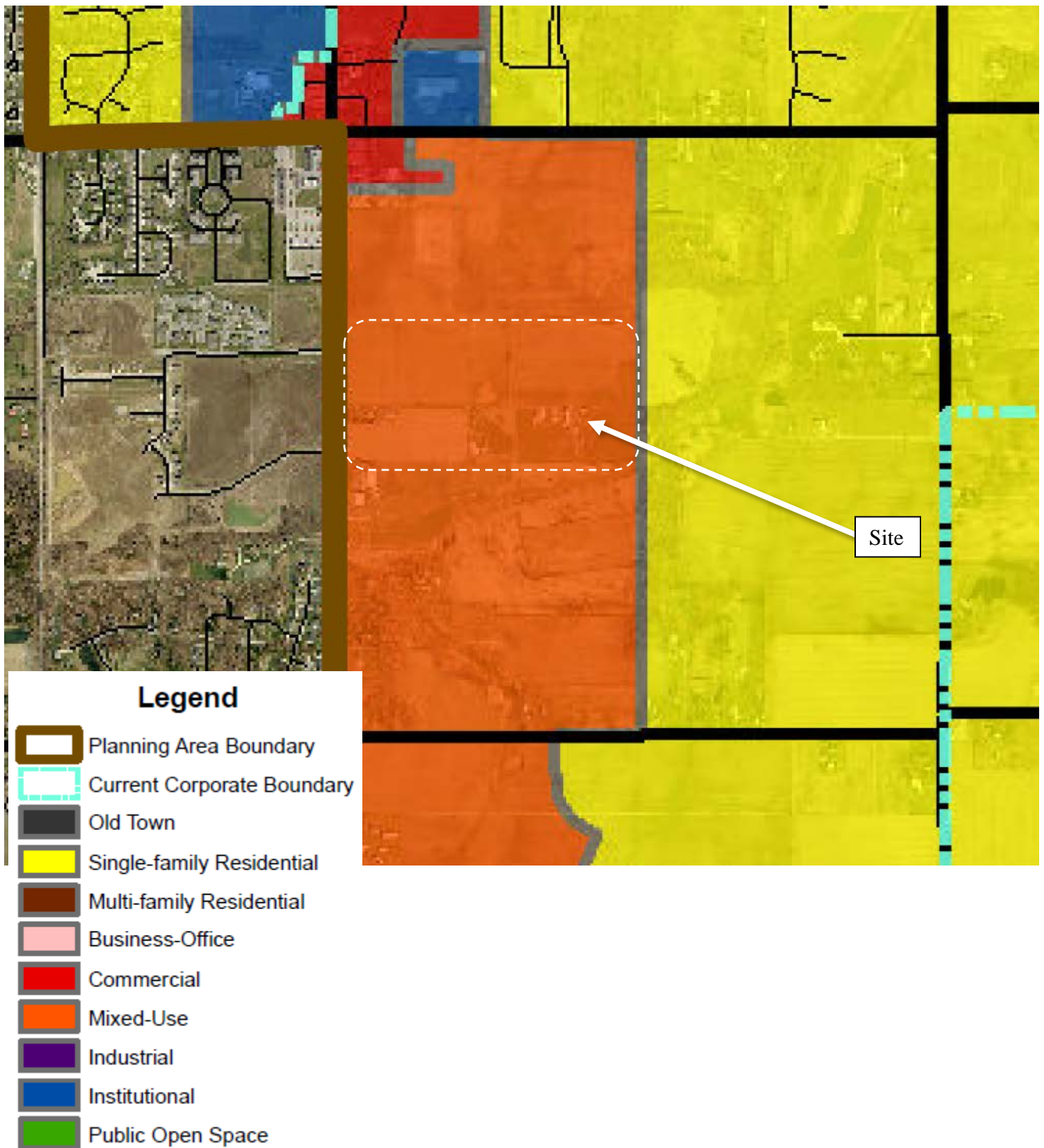


Exhibit F – Construction Phasing Plan

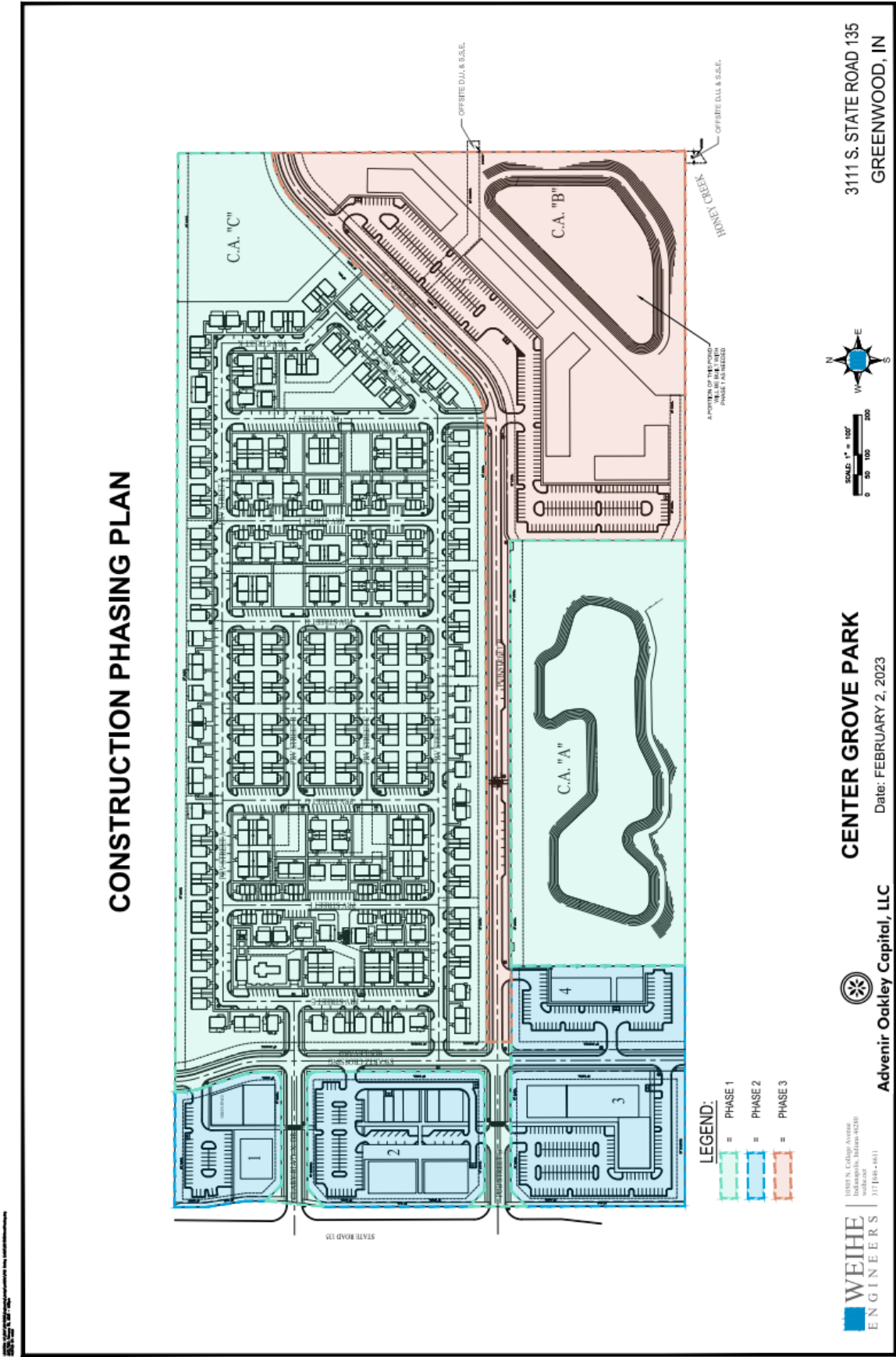


Exhibit G – Center Grove Park PUD District Ordinance

CENTER GROVE PARK PUD DISTRICT ORDINANCE
GREENWOOD COMMON COUNCIL ORDINANCE # _____

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Exhibit D – Multi-Family (Cottage) Unit Tear Sheets – Examples

Exhibit E – Street Elevations

This PUD District Ordinance (the “PUD Ordinance”) is an ordinance amending the Unified Development Ordinance of the City of Greenwood, Indiana (the “City”), adopted October 5, 2020, as Common Council Ordinance 20-29, as amended (the “UDO”), which includes the Official Zone Map (the “Official Zoning Map”), in effect as of the date of the option of this PUD Ordinance.

Recitals

WHEREAS, under Petition # PC2023-007 (the “Petition”) and in compliance with Indiana Code 36-4-7 et. seq., the City of Greenwood Plan Commission (the “Plan Commission”) conducted one or more public hearings, with due and proper notice and publication, with respect to a request to rezone the real estate legally described in Exhibit A attached hereto and incorporated herein by reference (the “Real Estate”) to a planned unit development district to be known as the Center Grove Park Planned Unit Development District (the “Center Grove Park PUD District”);

WHEREAS, the Plan Commission has sent to the Common Council of the City of Greenwood (the “Council”) its favorable/unfavorable/no recommendation of the Petition adopted on the ____ day of _____, 2023 by a vote of ____ in favor, ____ opposed and ____ abstained, in accordance with Indiana Code 36-7-4-608 and Indiana Code 36-7-4-1505; and

WHEREAS, the Council is subject to the provisions of Indiana Code 36-7-4-1507 and Indiana Code 36-7-4-1512 concerning any action on this request.

WHEREAS, the Council, after conducting a public meeting in accordance with Indiana Code 36-7-4-1505 and Indiana Code 36-7-4-608, ordained by Ordinance __-__ that the UDO, including the Official Zoning Map, is hereby amended as follows:

Section 1. Applicability of Ordinance.

- 1.1 Designation. The UDO and Official Zoning Map are hereby changed to designate the Real Estate as a planned unit development district to be known as the “Center Grove Park PUD District”.
- 1.2 Applicability. Development of the Real Estate shall be governed by (i) the provisions of this PUD Ordinance and its exhibits, and (ii) the provisions of the Unified Development Ordinance, as amended and applicable to the referenced zoning district, except as modified, revised, supplemented or expressly made inapplicable by this PUD Ordinance. To the extent of any conflict between this PUD Ordinance and any other provision of the UDO, the terms of this PUD Ordinance shall control.
- 1.3 References. Division (“Division”) and Section (“Section”) cross-references in this PUD Ordinance shall hereinafter refer to the section as specified and referenced in the UDO.
- 1.4 Supersede. All provisions and representations of the UDO that conflict with the provisions of this PUD Ordinance are hereby made inapplicable to the Real Estate and shall be superseded by the terms of this PUD Ordinance.

Section 2. Definitions.

- 2.1 Defined Terms. Capitalized terms not otherwise defined in this Ordinance shall have the meanings ascribed to them in the UDO. Terms that are defined in the UDO that are used in this Ordinance shall have the meanings ascribed to them in the UDO unless specifically stated otherwise.
- 2.2 Recitals. The provisions of the preface and Recitals noted above are hereby incorporated into this PUD Ordinance, including the terms defined therein.
- 2.3 Underlying Zoning Districts. The underlying zoning district for the Real Estate is deemed to be Commercial Medium Format Zone (CM) for the Commercial Mixed-Use area, Residential Multi-Unit Complex Zone (RMC) for the Multi-Family (Vertical) area, and Residential Attached Single-Family Zone (RA) for the Multi-Family (Cottage) area (the “Underlying Zoning Districts”).

Section 3. General Details.

- 3.1 Concept Plan. This PUD Ordinance and the maps and exhibits attached hereto shall constitute the Concept Plan for the Center Grove Park PUD District. The Concept Plan is attached hereto and incorporated herein by reference as Exhibit B (the “Preliminary Site Plan”).
- 3.2 Written Statement of Character of the Center Grove Park PUD District. As shown on the conceptual Preliminary Site Plan, the Center Grove Park PUD District development will consist of three distinct areas: Commercial Mixed-Use, Multi-Family (Vertical), and Multi-Family (Cottage). The Commercial Mixed-Use area will cover approximately 10-12 acres and consist of up to 150,000 SF of commercial, office, and retail uses. The Multi-Family (Vertical) area will be oriented within 3 and 4-story buildings comprised of up to 250 apartment units in 1, 2, 3-bedroom configuration, ranging in size between +/- 600 and +/- 1,500 square feet. The Multi-Family (Cottage) area or Single-Family-Rental portion of the development will be comprised of up to 325 single-family attached and detached 1, 2, and 3-bedroom residences, ranging in size between +/- 600 and +/- 1,500 square feet. Each of the multi-family components will have their own active amenity areas that will include, but not be limited to, fitness room, pool deck, and lounge areas, as well as system of interconnected passive amenity areas such as pocket parks and walking trails that will be available for all residents of the Greenwood community to enjoy.
- 3.3 Applicability of Underlying Zoning District. To the extent this PUD Ordinance is silent with respect to a particular land use, development standard or other applicable provision of the UDO, the standards and regulations of the Underlying Zoning Districts shall apply.

- 3.4 Platting. Primary and Secondary platting of sections or phases of the Center Grove Park PUD District shall be required in compliance the provisions of *Section 10-06-27* of the UDO.

Section 4. Permitted Uses/Prohibited Uses. The permitted uses on the Real Estate are as follows:

- 4.1 Principal Uses. The following principal uses shall be permitted in each respective area:
- 4.1.1 Commercial Mixed-Use area:
Any permitted principal use in the CM zone,
Boarding/Kennel, further than 150' from State Road 135, and
Vehicular Sales – Motorcycle, outdoor storage / display of vehicles
shall be limited to 1,000 Sq. Ft.
- 4.1.2 Multi-Family (Vertical) area:
Any permitted principal use in the RMC zone.
- 4.1.3 Multi-Family (Cottage) area:
multi-family managed community,
single-family detached dwellings,
single-family attached dwellings - up to four connected units, and
commercial leasing and amenity facilities.
- 4.2 Accessory Uses. All accessory uses and structures permitted in the Underlying Zoning Districts shall be permitted. Additionally, the following shall be permitted accessory uses in the Multi-Family (Vertical) area: small general retail / bodega, coffee shop, restaurant, and co-working space.
- 4.3 Special Exceptions. Special Exceptions of the Underlying Zoning Districts shall be permitted as Special Exceptions.

Section 5. Maximum Dwellings. The maximum number of Dwellings that may be constructed on the Real Estate shall be 250 in the Multi-Family (Vertical) area and 325 in the Multi-Family (Cottage) area.

Section 6. Miscellaneous Regulations.

- 6.1 Common Areas and Facilities. Sec. 10-06-17 Common Areas. The provisions of *Section 10-06-17* of the UDO shall apply to the Center Grove Park PUD District. Common Areas shall not be subject to the Development Standards of Section 8 below unless specifically required. Any provisions of the Underlying Zoning District shall not apply to the extent any such provision would prohibit or interfere with the development of the Real Estate in accordance with the Preliminary Site Plan.

6.2 **Minimum Standards.** The Development Standards listed in Section 8 below are the minimum requirements for the Center Grove Park PUD District. Such development standards shall not be construed so as to prohibit any development on the Real Estate from exceeding the minimum requirements unless the Development Standards contain a maximum limitation or standard.

6.3 **Legal Conformance.** Development of the Real Estate shall be in conformance with all local, state, and federal laws as applicable to the Real Estate.

Section 7. Lot Standards. All lots shall conform to the following development standards, as well as those standards listed in Section 8 below:

7.1 **Commercial Mixed-Use Area.**

CM Standards	Minimum	Maximum
Lot Size (acres)	0.5	20
Combined Front Yard Setback / Utility Easement (Ft.) ¹	20'	N/A
Combined Side Yard Setback / Utility Easement (Ft.) ¹	20'	N/A
Combined Rear Yard Setback / Utility Easement (Ft.) ¹	20'	N/A
Internal Building Separation (Ft.)	20'	N/A
Building Height (Ft.)	N/A	45'
Residential Unit Size (Sq. Ft.)	600	N/A
Impervious Lot Coverage (Maximum Percentage of Total Lot Area)	N/A	70% ²
Open Space ³	25%	N/A
Floor Area (Sq. Ft.) ⁴	N/A	150,000
Accessory Building Location	N/A	N/A
Accessory Building Height (Ft.)	N/A	N/A
Parking Location	Side/Rear/Front Yard	
Signage	Division III, Sec. 10-03-08, as modified by this PUD Ordinance	
Landscaping	Division III, Sec. 10-03-06, as modified by this PUD Ordinance	
Minimum Parking	Division III, Sec. 10-03-02, as modified by this PUD Ordinance	
Design Standards	See Section 8, below	
Uses	See Section 4, above	

Notes:

¹ Landscaping to be permitted within the allocated space from back of right-of-way line. Board of Public Works approval may be required for encroachments into easements.

² To be calculated by aggregate impervious lot coverage for the overall development.

³ To be calculated by aggregate open space for the overall development.

⁴ Total Commercial Mixed-Use area allotment.

7.2 Multi-Family (Vertical) Area.

RMC Standards	Minimum	Maximum
Lot Size (acres)	4	N/A
Lot Width (Ft.)	N/A	N/A
Units per Acre	N/A	30 Units / Acre
Combined Front Yard Setback / Utility Easement (Ft.) ¹	20'	N/A
Combined Side Yard Setback / Utility Easement (Ft.) ¹	20'	N/A
Combined Rear Yard Setback / Utility Easement (Ft.) ¹	20'	N/A
Internal Building Separation (Ft.)	20'	N/A
Building Height (Ft.) ²	30'	80'
Residential Unit Size (Sq. Ft.)	600	N/A
Impervious Lot Coverage (Maximum Percentage of Total Lot Area)	N/A	70% ³
Accessory Building Location	N/A	N/A
Accessory Building Height (Ft.)	N/A	35'
Floor Area (Sq. Ft.)	N/A	400,000
Open Space ⁴	25%	N/A
Parking Location	Front, Side, or Rear Yard	
Signage	Division III, Sec. 10-03-08, as modified by this PUD Ordinance	
Landscaping	Division III, Sec. 10-03-06, as modified by this PUD Ordinance	
Minimum Parking	1.5 Spaces / Unit	
Design Standards	See Section 8, below	
Uses	See Section 4, above	

Notes:

¹ Landscaping to be permitted within the allocated space from back of right-of-way line. Board of Public Works approval may be required for encroachments into easements.

² Measured to top of parapet or middle of sloped roof between the eaves and ridge.

³ To be calculated by aggregate impervious lot coverage for the overall development.

⁴ To be calculated by aggregate open space for the overall development.

7.3 Multi-Family (Cottage) Area.

RA Standards	Minimum	Maximum
Lot Size (acres)	5	N/A
Lot Width (Ft.)	N/A	N/A
Units per Acre	N/A	12 Units / Acre
Combined Front Yard Setback / Utility Easement (Ft.) ¹	25'	N/A
Combined Side Yard Setback / Utility Easement (Ft.) ¹	25'	N/A
Combined Rear Yard Setback / Utility Easement (Ft.) ¹	25'	N/A
Building Setback from Internal Streets ²	8'	N/A
Internal Building Separation (Ft.)	15'	N/A
Building Height (Ft.) ³	N/A	35'
Residential Unit Size (Sq. Ft.)	600	N/A
Impervious Lot Coverage (Maximum Percentage of Total Lot Area)	N/A	70% ⁴
Accessory Building Location	N/A	N/A
Accessory Building Height (Ft.)	N/A	35'
Floor Area (Sq. Ft.)	N/A	460,000
Open Space ⁵	25%	N/A
Parking Location	Front, Side, or Rear Yard	
Signage	Division III, Sec. 10-03-08, as modified by this PUD Ordinance	
Landscaping	Division III, Sec. 10-03-06, as modified by this PUD Ordinance	
Minimum Parking	1.5 Spaces / Unit	
Design Standards	See Section 8, below	
Uses	See Section 4, above	

Notes:

¹ Setbacks established along the exterior boundary of the area only.

² Does not apply to carriage houses.

³ Measured to the middle of the sloped roof between the eaves and ridge.

⁴ To be calculated by aggregate impervious lot coverage for the overall development.

⁵ To be calculated by aggregate open space for the overall development.

Section 8. Generally Applicable Regulations. The Generally Applicable Regulations, *Sections 10-03-02 through Sections 10-03-17* applicable to the Underlying Zoning Districts, shall apply to the Center Grove Park PUD District as follows:

- 8.1 Section 10-03-02 Parking and Access. The provisions of *Section 10-03-02* of the UDO shall apply to the Center Grove Park PUD District. However, the Minimum Parking standards shall be as noted in the Lot Standard Tables, above. Upon written waiver request of the applicant, the Advisory Plan Commission may authorize a reduction of required parking spaces. The Multi-Family (Vertical) area shall provide an additional two (2) spaces per 1,000 square feet for any permitted accessory uses, noted above. The Multi-Family (Cottage) area shall provide an additional two (2) spaces per 1,000 square feet for any permitted amenity/ancillary uses, noted below.
- 8.2 Section 10-03-03 Commercial Off-Street Loading Facilities. The provisions of *Section 10-03-03* of the UDO shall apply to the Center Grove Park PUD District, except as modified below:
 - 8.2.1 Loading facilities shall not be located within 100 feet of a residential property.
- 8.3 Section 10-03-04 Loading and Drop-off for Deliveries and Rideshare. The provisions of *Section 10-03-04* of the UDO shall not apply to the Center Grove Park PUD District.
- 8.4 Section 10-03-05 Drive-thru(s). The provisions of *Section 10-03-05* of the UDO shall apply to the Center Grove Park PUD District.
- 8.5 Section 10-03-06 Landscaping and Buffering. The provisions of *Section 10-03-06* of the UDO shall apply to the Center Grove Park PUD District, except as modified below:
 - 8.5.1 *Subsection 10-03-06.G Foundation Plantings* shall apply to the Center Grove Park PUD District, except as modified below:
 - 1. For the Commercial Mixed-Use area and the Multi-Family (Vertical) area, foundation plantings shall only be required along the foundation facing public streets, but not private streets.
 - 2. The Multi-Family (Cottage) area shall follow the standards for single-family residential properties and duplexes, as modified by this Section.
 - a. Planting strips shall only be required along the foundation facing private streets, but not public streets.
 - b. The type of planting shall be five small shrubs per street frontage.
 - c. Carriage houses shall be exempt the foundation plantings requirement.

3. Commercial development, where the face of a structure containing the main entrance(s) physically abuts the sidewalks, shall be exempt from the foundation planting requirements.
4. Where a structure along a street directly abuts an access/service drive, this shall be exempt from the foundation planting requirements, but instead a perimeter planting requirement (Sec. 10-03-06.J.2) shall be supplemented with an additional two (2) evergreen shrubs per 35 lineal feet. Therefore, making the requirement for these instances: Per 35 lineal feet of planting, a minimum of one (1) tree, three (3) shrubs, and two (2) evergreen shrubs must be planted.
5. Where an interior parking drive aisle is located between the main entrances of facing buildings and the sidewalk physically abuts the building(s):
 - a. A minimum 5-feet wide, landscaped area between the sidewalk and the parking shall be provided.
 - b. Shrubs, flowers, and/or long grasses at the recommended spacing by plant type shall be planted, and, per 35 lineal feet of planting, a minimum of one (1) tree shall be planted.
 - c. Bioswales may be provided in lieu of item b. Bioswales must provide one (1) shade tree per 35 lineal feet of bioswales.
6. In any area, where landscaping site constraints exist and there is not sufficient space to provide all landscaping elements, reconfiguration and relocation is permitted only if the required number of vegetative units is provided on the subject parcel, in a reconfigured/relocated format approved by the Technical Review Committee.
7. Trash storage and collection areas shall be allowed within the foundation plantings strip in the Commercial Mixed-Use area.

8.5.2 *Subsection 10-03-06.H Streetscaping* shall not apply to the Center Grove Park PUD District. Instead,

1. Public street trees shall be planted at a rate of 1 tree per 40 linear feet of frontage.
2. Trees may be placed within the public right-of-way in green spaces between back of curb and sidewalks and in parallel parking islands.
3. 10% of required public street trees may be relocated to common areas around the development.
4. Private streets are not subject to streetscaping requirements.

8.5.3 *Subsection 10-03-06.I Buffering* shall apply to the Center Grove Park PUD District, except as modified below:

1. For the Commercial Mixed-Use area, the required Buffer Yard width and associated landscape plantings shall be provided as shown in the table below, and the following shall apply: The 30' Buffer Yard will be

provided with a high-quality fence made of wood or masonry six (6) feet in height as measured from the adjacent property. The required plantings shall be located on the south side of the fence.

Commercial Mixed-Use area		
Boundary	Buffer Width	Plantings Included (per 100')
Northern Perimeter	0'	N/A
Western Perimeter	0'	N/A
Eastern Perimeter	0'	N/A
Southern Perimeter	30'	3 Canopy or Evergreen Trees, 2 Ornamental, and 10 Shrubs, with an additional 2 Evergreen Trees along the shared lot line.

- For the Multi-Family (Vertical) area, the required Buffer Yard width and associated landscape plantings shall be provided as shown in the table below:

Multi-Family (Vertical) area		
Boundary	Buffer Width	Plantings Included (per 100')
Northern Perimeter	0'	N/A
Western Perimeter	0'	N/A
Eastern Perimeter	20'	3 Canopy or Evergreen Trees, 2 Ornamental, and 10 Shrubs.
Southern Perimeter	20'	3 Canopy or Evergreen Trees, 2 Ornamental, and 10 Shrubs.

- For the Multi-Family (Cottage) area, the required Buffer Yard width and associated landscape plantings shall be provided as shown in the table below:

Multi-Family (Cottage) area		
Boundary	Buffer Width	Plantings Included (per 100')
Northern Perimeter	25'	3 Canopy or Evergreen Trees and 10 Shrubs.
Western Perimeter	0'	N/A
Eastern Perimeter	0'	N/A
Southern Perimeter	0'	N/A

8.5.4 *Subsection 10-03-06.J.1 Off-Street Parking Islands* shall not apply to the Multi-Family (Cottage) area.

8.5.5 *Subsection 10-03-06.J.2 Perimeter Parking Lot Landscaping* shall not apply to private streets in the Multi-Family (Cottage) area. Instead, one (1)

tree and three (3) shrubs per unit will be installed. Trees shall be allowed to be planted between the back of curb and sidewalks.

8.5.6 Buffer Yards and building setback areas shall be permitted to overlap.

8.6 Section 10-03-07 Outdoor Lighting and Section 10-06-14 Streetlights. The provisions of *Section 10-03-07* and *Section 10-06-14* of the UDO shall apply to the Center Grove Park PUD District, except as modified below:

8.6.1 All cottages in the Multi-Family (Cottage) area will include at minimum one (1) exterior light fixture at all door entries.

8.6.2 All exterior night lighting fixtures shall be fully shielded and downward casting as to not cause glare or spill over onto neighboring properties or roadways.

8.7 Section 10-03-08 Signage. The provisions of *Section 10-03-08* of the UDO shall apply to the Center Grove Park PUD District, except as modified below:

8.7.1 Signage for the Multi-Family (Cottage) area shall be in substantial compliance to the representative imagery provided within Exhibit C. In the event of a conflict with the UDO, the renderings and dimensions in Exhibit C shall supersede conflicting regulations. Any signage types not shown in Exhibit C, including temporary signs, shall be permitted in accordance with the UDO. *Section 10-03-08.D.6 Parking Signs* and *Section 10-03-08.D.7 Traffic Directional Signs* shall be permitted in the Multi-Family (Cottage) area; however, they shall not be subject to the height requirements listed in the UDO. All freestanding signs may be directly adjacent to the street right of way as long as they are not within the Visibility Triangle.

8.7.2 The provisions of *Section 10-03-08* of the UDO shall apply to the signage for both the Commercial Mixed-Use area and the Multi-Family (Vertical) area in the Center Grove Park PUD District, subject to the following modifications:

1. *Subsection 10-03-08.C Prohibited Signs* shall apply, except as provided below:

- a. *C.2* shall read: Animated and intensely lighted signs. No sign shall be permitted which is animated by means of flashing, scintillating, blinking or traveling lights or any other device or means not providing constant illumination.
- b. *C.4* shall read: Off-premise signs. Off-premise signs shall be prohibited.
- c. Message Center signs are not allowed.

2. *Subsection 10-03-08.D.6 Parking Signs* and *Subsection 10-03-08.D.7 Traffic Directional Signs* shall be permitted; however, they shall not be subject to the height requirements listed in the UDO.

3. *Subsection 10-03-08.K General Regulations* shall apply, except as provided below:
 - a. *K.1.d* shall read: All freestanding signs may be directly adjacent to the street right of way as long as they are not within the Visibility Triangle. Ground and pole signs shall be no closer to the rear and side property line than fifteen (15) feet.
 - b. *K.5.a.ii* shall read: Signs within 150 feet of a residential area or mixed-use area with residential may be illuminated from 5 am until 11 pm, or ½ hour past the close of business of the facility being identified or advertised, whichever is later. Signs not facing the residential use are exempt from this requirement.
 - c. *K.6, K.7, and K.9* shall not apply. Electronic Variable Message Signs (EVMS) are prohibited.
4. *Subsection 10-03-08.L Menu of On-Premises Signs Allowed by Permit* shall apply, except as provided below:
 - a. *L.1* shall read: All *businesses* may display one building-mounted sign as permitted below subject to the following exceptions. Stand-alone businesses, upon approval of the developer, may also have one ground-mounted monument sign. All businesses may also have a signage panel within a larger Multiple Use Ground Sign.
 - b. *L.1.a* shall read: If a business has frontages on three separate public streets, or drive aisles, or parking lots with frontage serving as a building entrance, one sign shall be permitted for each of the three street frontages thereby increasing the maximum number of signs to three. In the event that a business has three frontages, signs located adjacent to the rights-of-way may not be closer than 100 feet apart.
 - c. *L.1.b* shall read: Where multiple businesses are located in a single one-story building, one sign is permitted per business, or two signs as noted in L.1.a. These signs, pertaining to the primary sign or sign on the front façade, may be located on the canopy, building face or separate building-mounted blade sign.
 - d. *L.2 Canopy or Marquee Sign* shall be permitted in the Commercial Mixed-Use area only. One Marquee sign is permitted per building for the following uses: Arts Centers and Community Facilities.
 - e. *L.2 Awning Sign* shall be permitted in the Commercial Mixed-Use area only. One Awning sign is permitted per business.
 - f. *L.2 Projecting/Blade Sign* shall be permitted in the Commercial Mixed-Use area and the Multi-Family (Vertical) area. One sign is permitted per storefront and one sign is permitted per multi-family building.

- g. *L.2 Wall Sign* shall be permitted in the Commercial Mixed-Use area only.
 - i. The requirement shall be: Any sign attached to, mounted, engraved, or erected against the outside wall of a building or structure, with the exposed display surface of the sign in a plane parallel to the building facade. Wall signs include letters or numerals mounted directly on buildings and any extensions thereon. Wall signs, where permitted, shall only be placed within the space that is four feet above a storefront or within the space that is four feet below the top of the highest parapet wall of a building.
 - ii. The Standards shall be: External illumination only with the exception of individual raised letters or logos which may be internally illuminated.
 - iii. The Dimensions shall be: The maximum sign area shall be 1.5 sq. ft. per lineal foot of building frontage to a maximum of 100 sq. ft. except in buildings occupied by multiple businesses, where each business may have their own sign not totaling more than 1 sf. ft. per linear foot of business (tenant frontage). The sign shall be mounted on a raceway; painted directly on wall; supports and wiring components concealed from public view; flush with wall not protruding more than 12 inches from wall. Multi-tenant office buildings shall be permitted one wall sign not to exceed 100 sq. ft. of face area per tenant, not to exceed a total square footage of 400 sq. ft. per building façade.
- h. *L.2 Window Sign* shall be permitted in the Commercial Mixed-Use area only.
 - i. The Dimensions shall be: 30% of the total window area of any single business may be covered by a sign. A maximum of 40% of the total window area of any single storefront may be covered by a sign.
- i. *L.2 Directional Sign* shall be permitted in the Commercial Mixed-Use area and the Multi-Family (Vertical) area; however, they shall not be subject to the height requirements listed in the UDO.
- j. *L.2 Hanging Sign* shall be permitted in the Commercial Mixed-Use area and the Multi-Family (Vertical) area.
- k. *L.2 Dual Pier Ground Sign* shall not be permitted.
- l. *L.2 Multiple Use Site Ground Sign* shall be permitted in the Commercial Mixed-Use area only.
 - i. The requirement shall be: Ground signs for multiple use properties shall be considered as having a combination of business identification sections, with each section

- identifying one business, visually separated from the others by a cabinet frame, support, or other structural or decorative sign component.
- ii. The Standards shall be: The maximum number of business identification sections shall be equal to the number of businesses on site. Changeable copy signs shall not be permitted.
 - iii. The Dimensions shall be: Sign area will be delineated by the amount of street frontage – one (1) sq. ft. of sign face is permitted per four (4) lineal feet of street frontage, up to a maximum of 240 sq. ft. No individual tenant may comprise more than 100 sq. ft. of the total sign face. The topmost portion of the sign shall not exceed beyond 23 feet at grade. Up to three (3) feet may be permitted for a sign base which shall not be counted toward the maximum dimensions. The base shall be made of brick, stone, cementitious panels or metal.
 - m. *L.2 Monument Sign, Residential* shall not be permitted.
 - n. *L.2 Monument Sign* shall be permitted in the Commercial Mixed-Use area and the Multi-Family (Vertical) area.
 - i. The Standards shall be: Sign face surround materials: brick, stone, cementitious panels, metal, or architectural concrete. Sign base materials: brick, stone, architectural concrete. External or internal illumination is permitted.
 - ii. The Dimensions for the Commercial Mixed-Use area shall be: Maximum sign face area: 48 sq. ft. Minimum base height: 1 foot. Maximum base height: 3 feet. The topmost portion of the sign shall not exceed beyond six (6) feet at grade. No two monument signs may be closer in distance than 20 feet.
 - iii. The Dimensions for the Multi-Family (Vertical) area shall be: Maximum sign face area: 60 sq. ft. Minimum base height: 1 foot. Maximum base height: 3 feet. The topmost portion of the sign shall not exceed beyond eight (8) feet at grade. No two monument signs may be closer in distance than 20 feet. Where the monument sign is incorporated into a screen wall for dumpster and/or trash compactor enclosures: This signage, when applied to the screen wall, will eliminate the need for landscaping along that face of the screen wall, and the maximum sign face area: 120 sq. ft.
 - o. *L.2 Monument Sign, Changeable Copy* shall not be permitted.
 - p. *L.2 Pole Sign* shall not be permitted.

- q. *L.2 Gasoline Sale Signage* shall not be permitted.
- 5. *Subsection 10-03-08.M Off-Premises Sign Allowed by Permit - Billboard* shall not apply. Off-Premises Signs are prohibited.
- 6. *Subsection 10-03-08.N.4 Flags* shall be permitted in the Multi-Family (Vertical) area.
 - a. The requirement shall be: Four (4) flags per property shall be permitted at a maximum of 25 feet in height. Flag size shall be limited to 40 (forty) square feet. Poles shall be located no closer than ten (10) feet from any right-of-way or private street.

8.8 Section 10-03-09 Fences and Screens. The provisions of *Section 10-03-09* of the UDO shall apply to the Center Grove Park PUD District, except as modified below:

- 8.8.1 Trash storage and collection areas shall be allowed in any yard setback except for the front setback yard of State Road 135.
- 8.8.2 Trash storage and collection areas shall be screened by any of the following means: A hedge-like screen of coniferous or approved deciduous plant material, capable of providing a minimum height of six (6) feet within three (3) years of planting and full opacity, or a solid wood and/or masonry fence/wall shall be installed and maintained at a height of 12 inches above the vertical height of the trash receptacle with wood slat or steel doors on a steel frame.
- 8.8.3 For the Multi-Family (Cottage) area, mechanical equipment and other utility hardware, excluding telecommunication equipment, electrical boxes, water meters, and conduit on roof, ground, or buildings shall be screened from public view by landscaping.
- 8.8.4 For the Commercial Mixed-Use area and the Multi-Family (Vertical) area, mechanical equipment and other utility hardware, excluding telecommunication equipment, electrical boxes, water meters, and conduit, on roof, ground, or buildings shall be screened from public view by any of the following means:
 - 1. Per UDO requirements,
 - 2. With a 100% opaque screen of a material complementary to the predominant material of the building, or
 - 3. Per the same means as trash storage and collection areas, as noted above.
- 8.8.5 Chain-link shall not be permitted, except that areas serving as outdoor dog facilities may use black chain-link. Corrugated sheet metal siding shall not be permitted.
- 8.8.6 Fencing shall be of wood, masonry, painted aluminum, or steel.

- 8.8.7 No fence shall exceed six (6) feet in height, except where required to screen trash storage and collection areas or other mechanical equipment.
- 8.8.8 Fencing in any front yard of a commercial or residential property may not exceed 50% opacity. No front yard fence in the Multi-Family (Cottage) area shall exceed four (4) feet in height.
- 8.8.9 In order to allow open vehicular and pedestrian access, gated entry shall not be permitted for the perimeter of the Real Estate.
- 8.8.10 *Subsection 10-03-09.H.1* shall apply, except as follows: Signage shall be permitted on fencing or screening for the trash storage and collection enclosure in the Multi-Family (Vertical) area.
- 8.9 Section 10-03-10 Outdoor Display and Storage. The provisions of *Section 10-03-010* of the UDO shall apply to the Center Grove Park PUD District.
- 8.10 Section 10-03-11 Manufactured and Mobile Homes. The provisions of *Section 10-03-11* of the UDO shall apply to the Center Grove Park PUD District; however, Manufactured Homes and Mobile Home Parks are not permitted in the Center Grove Park PUD District.
- 8.11 Section 10-03-12 Home Occupations. The provisions of *Section 10-03-12* of the UDO shall apply to the Center Grove Park PUD District.
- 8.12 Section 10-03-013 Accessory Uses and Structures. The provisions of *Section 10-03-13* of the UDO shall apply to the Center Grove Park PUD District.
- 8.13 Section 10-03-14 Building Design Standards. The provisions of *Section 10-03-14* of the UDO shall not apply to the Center Grove Park PUD District. Instead, the following shall apply:
- 8.13.1 The following building design standards shall apply to the Commercial Mixed-Use Area:
1. Front Elevations
 - a. Front elevations shall be comprised of any one or a combination of the following materials:

Stone (scale proportional to building scale), brick, fiber cement siding, wood, engineered wood siding, provided that a minimum of 35% of the front elevation shall be clad in mortared masonry or stone veneer (not to include dry stack ledgerstone).
 - b. Metal cladding may be permitted on not more than 20% of the front elevation.
 - c. Metal grills and thru-air units are not permitted on the front elevation.

- d. The front façade must articulate two (2) feet for every 40 feet of façade width.
- 2. Side Elevations
 - a. Side elevations shall be clad in the same materials of the front elevation.
 - b. Right-of-way facing elevations shall not contain any loading docks or overhead doors unless such overhead doors are used in connection with an eating establishment or a fitness facility.
- 3. Rear Elevations
 - a. Rear elevation shall be clad in the same materials as the side elevations.
 - b. Rear elevations may contain screened docks and overhead doors.
- 4. Parapet Walls
 - a. Parapet walls shall be of the same finish materials as the front elevation directly below the parapet wall and both sides of the wall (where visible) shall be finished.
- 5. Transparency
 - a. All elevations with a public business entry shall comply with the minimum transparency requirements of 30%. Additionally, all elevations facing State Road 135 shall have 30% glass or glazing.

8.13.2 The following building design standards shall apply to the Multi-Family (Vertical) Area:

- 1. Front Elevations
 - a. Front elevations shall be comprised of any one or a combination of the following materials:
 - Stone (scale proportional to building scale), brick, fiber cement siding, wood, engineered wood siding, provided that at minimum 25% of the street facing front elevation for four-story buildings and 33% of the street facing front elevation for three-story buildings shall be clad in mortared masonry or stone veneer (not to include dry stack ledgerstone).
 - b. The front elevation shall comply with the minimum transparency requirements of 20%.
 - c. Metal cladding may be permitted on not more than 20% of the front elevation.
 - d. Metal grills and thru-air units are not permitted on the front elevation.
 - e. The front façade must articulate two (2) feet for every 60 feet of façade width.

2. Side Elevations

- a. Side elevations shall be comprised of a minimum of 20% mortared masonry or stone veneer (not to include dry stack ledgerstone). Remaining areas shall consist of stone (scale proportional to building scale), brick, fiber cement siding, wood, engineered wood siding.
- b. The total transparency of each side elevation shall be at least 20% except for the short sides/ends of buildings where 15% is acceptable.

3. Rear Elevations

- a. Rear elevations shall be comprised of a minimum 20% mortared masonry or stone veneer (not to include dry stack ledgerstone). Remaining areas shall consist of stone (scale proportional to building scale), brick, fiber cement siding, wood, engineered wood siding.

4. Trim/Eaves/Roof Overhangs

- a. All trim on all building elevations shall be painted engineered wood or fiber cement.
- b. Eaves and roof overhangs shall be a minimum of 12 inches from any exterior wall surface on all elevations at the end gable of the roof, and 24 inches minimum from any exterior wall surface at all low, primary eaves (use of exposed rafter tails and decorative knee braces is encouraged).
- c. Gutters shall not count towards this requirement.

5. Balconies

- a. If balconies are included, balconies shall be incorporated into the façade of the structure and shall contain, metal, powder-coated aluminum, or engineered wood railings.
- b. Natural wood railing shall not be permitted on a balcony, however natural wood timber columns are acceptable.

8.13.3 The following building design standards shall apply to the Multi-Family (Cottage) Area:

1. General

- a. The elevations of homes attached hereto as Exhibit D illustrate conceptually the elements and anticipated character of the architecture and design of dwellings in the Center Grove Park PUD District. The elevations are intended to set a benchmark for the architecture and design, and final dwellings may vary.
- b. Vinyl siding shall not be permitted.

2. Non-Monotony

- a. Adjacent new structures may not utilize the same front elevation. Rear elevations do not apply to this standard. Where rear yards

are adjacent to the right-of-way, the non-monotony standards shall not apply; however, the developer will be required to provide an enhance buffer. Carriage Houses are omitted from this standard.

- b. Adjacent structures are permitted to have the same setback, provided they provide variation in the exterior façade.
- c. On individual structures, there shall be no blank exterior walls. Each wall shall have a minimum of eight square feet of windows or full-lite doorway.

3. Front/Side/Rear Elevations

- a. The front elevations will be comprised of cementitious lap siding and/or vertical board and batten siding per the example elevations.
- b. All trim on the dwellings will be comprised of cementitious board materials, as shown in the example elevations.
- c. A minimum of 20% of residential buildings, integrated throughout the area, shall have a masonry wainscot of 18 to 36 inches on any elevation visible from a street or other public area.

4. Garage Doors:

- a. Shall not extend beyond the face of each dwelling unit.

5. Windows:

- a. A minimum of one window or full-lite door will be provided on all sides of the building.
- b. All windows will be single-hung and constructed of vinyl or aluminum material.
- c. Front elevation windows will have simulated divided lites or grilles between the glass.
- d. Side and rear elevation windows will be permitted to be designed with or without muntins.

6. Roofing

- a. Sloped roofing material will be comprised of architectural asphalt shingle and/or metal roofing panels where visible.
- b. Low-sloped (“flat”) roofs will use parapets, mansards or screening as required to block roof-top equipment.
- c. Eaves and roof overhangs, excluding porch overhangs, shall be a minimum of 12 inches from any exterior wall surface of all exterior elevations.

7. Front Stoop or Porch

- a. All single-family detached and attached dwellings will receive a front stoop/porch. The carriage house will be omitted from this requirement.

- b. Carriage houses will have either exposed pressured treated lumber stairwell entry, or enclosed entry with a covered private stoop/porch.

8. Back Yards

- a. All dwellings receiving a backyard will include a concrete patio and greenspace that will be maintained by the managing company.
- b. All units not receiving a back yard will have a balcony constructed of pressure treated lumber.

9. Driveway

- a. Driveways will adhere to the design standard set forth in *Section 10-06-13* of the UDO. However, carriage houses shall not be subject to any setback and shall not be required to be offset. Additionally, the maximum driveway width requirement shall not apply to carriage houses.

8.14 Section 10-03-15 Telecommunications Facilities. The provisions of *Section 10-03-15* of the UDO shall apply to the Center Grove Park PUD District.

8.15 Section 10-03-16 Specific Uses Standards. The provisions of *Section 10-03-16* of the UDO shall apply to the Center Grove Park PUD District, except as modified below:

8.15.1 All detached single-family homes shall require a minimum of fifteen (15) feet of separation (as noted in the Lot Standard Tables, above) between neighboring detached single-family homes, which shall be measured from the nearest wall of the primary structure.

8.16 Section 10-03-17 Planned Unit Development (PUD). The provisions of *Section 10-03-17* of the UDO shall apply to the Center Grove Park PUD District, except as modified in this PUD Ordinance, including the modification or supplementation of Sections.

Section 9. Amenities and Open Space.

9.1 Amenities may include, but are not limited to, pool, fitness center, community flex workspace and conference area, and dog park. Sidewalks shall provide connectivity throughout the community. All open space and amenities will be professionally managed and maintained by managing owner.

9.2 A path will provide pedestrian access throughout the development.

9.3 A pedestrian access easement connection shall connect from the existing pedestrian access easement in the directly adjacent development to the north and continue through the Real Estate to the Public Street B Right-of-Way.

Section 10. Blocks. The provisions of *Section 10-06-02* of the UDO shall apply to the Center Grove Park PUD District, except as modified below:

- 10.1 Blocks used for residential use shall not be longer than one thousand feet (1,000') as measured along the centerline of the block.

Section 11. Street Design. The provisions of *Section 10-06-05* of the UDO shall not apply to the Center Grove Park PUD District. Instead, streets shall be provided in substantial compliance to the street elevations provided within Exhibit E.

Section 12. Fire Protection. The provisions of *Section 10-06-21* of the UDO shall apply to the Center Grove Park PUD District, except as modified below:

- 12.1 The Multi-Family (Cottage) area shall adhere to the Single-Family Residential Development standard stipulating that fire hydrants shall be installed no more than five hundred feet (500') apart on a public or private road.

[Remainder of Page Intentionally Left Blank, Signature Page Follows]

**PASSED BY THE COMMON COUNCIL OF CITY OF GREENWOOD,
INDIANA, THIS ____ DAY OF _____, 2023.**

Michael Campbell, President Greenwood Common
Council

FOR

AGAINST

_____	Linda S. Gibson	_____
_____	Ezra J. Hill	_____
_____	Michael Williams	_____
_____	Ronald Bates	_____
_____	J. David Hopper	_____
_____	David Lekse	_____
_____	Michael Campbell	_____
_____	Bradley Pendleton	_____
_____	Andrew K. Foster	_____

ATTEST:

Jennine Myers, Clerk

The forgoing within and attached Ordinance passed by the Common Council of the City of Greenwood, Indiana, on the _____ day of _____, 2023, is presented to me this _____ day of _____, 2023, at _____ o'clock __.M. to the Mayor of the City of Greenwood, Indiana.

Jennine Myers, Clerk

The foregoing within and attached Ordinance passed by the Common Council of the City of Greenwood, Indiana, on the _____ day of _____, 20____, is signed and approved by me this _____ day of _____, 20____, at _____ o'clock ____M.

MARK W. MYERS Mayor of the City of
Greenwood, Indiana

Exhibit A

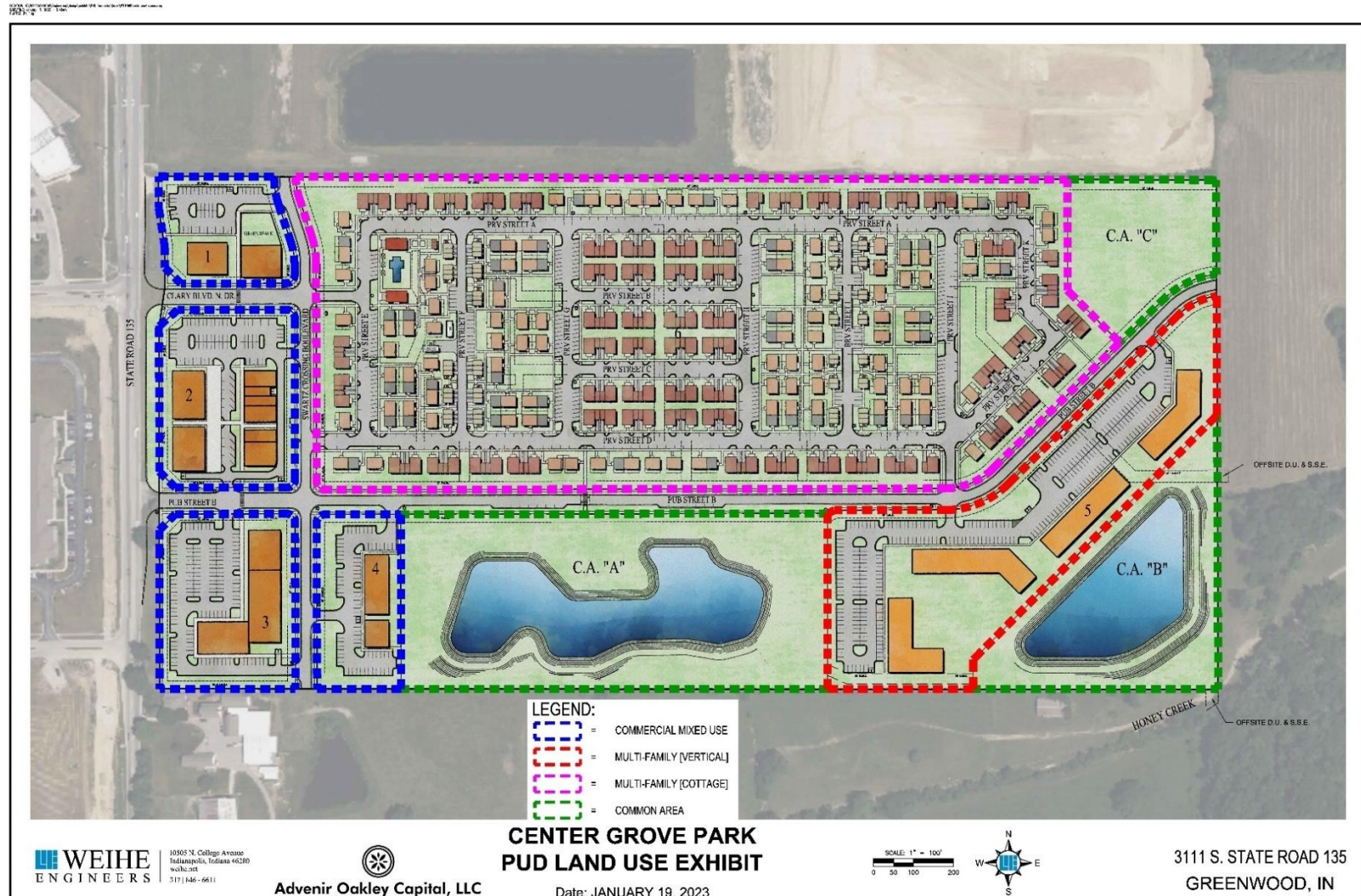
Legal Description

Part of the Northwest Quarter and part of the Southwest Quarter of Section 13, Township 13 North, Range 3 East of the Second Principal Meridian, White River Township, in Johnson County, Indiana, described as follows:

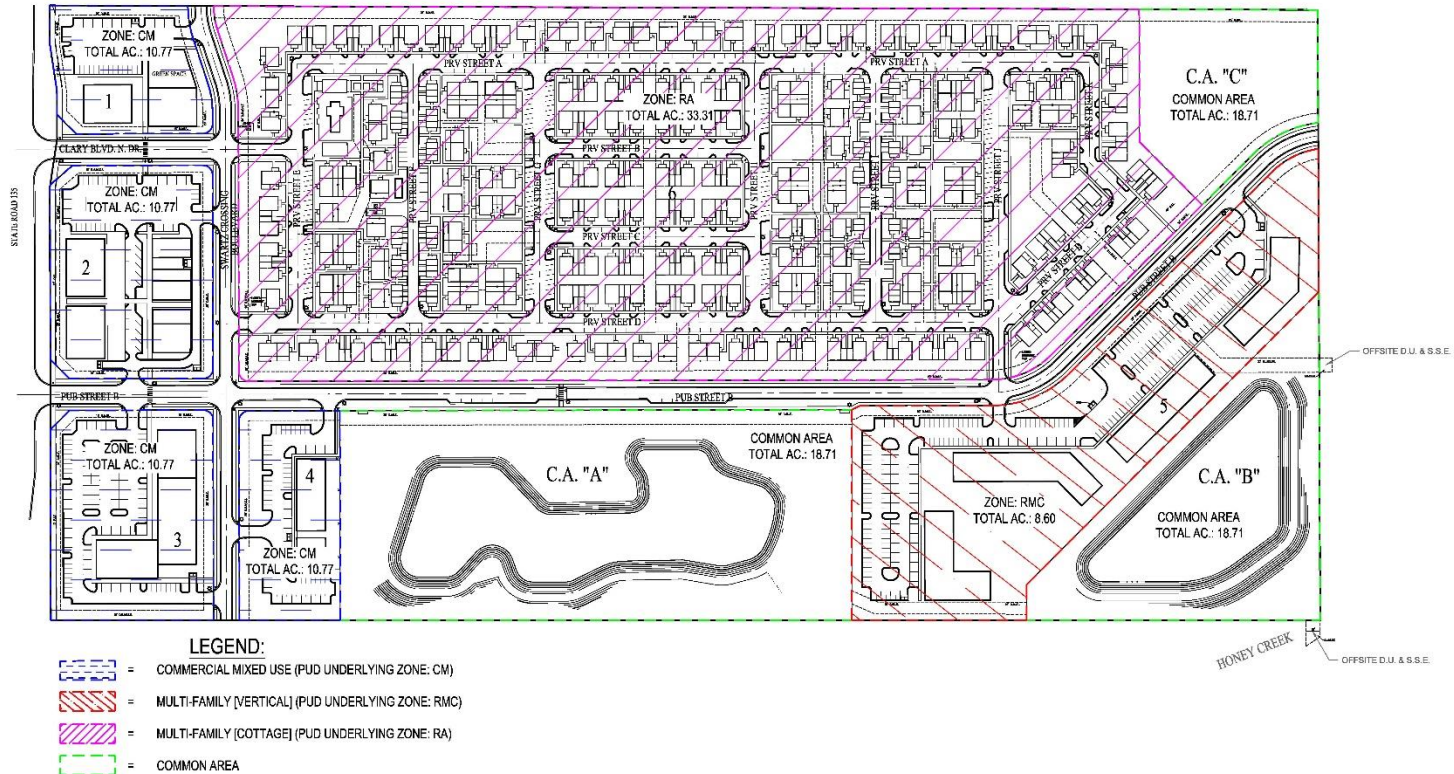
Commencing at the Southwest corner of said Northwest Quarter; thence North 00 degrees 11 minutes 30 seconds West (assumed bearing) 98.45 feet on the West line of said quarter to the Point of Beginning of this description; thence North 00 degrees 11 minutes 30 seconds West 138.06 feet along said West line; thence South 89 degrees 56 minutes 49 seconds East 67.07 feet to the easterly right of way line of State Road 135 recorded in Instrument No.: 2009-024821 in the Office of the Recorder of Johnson County, Indiana; thence along the easterly right of way of said State Road 135 by the next five (5) courses: 1) North 00 degrees 07 minutes 23 seconds West 424.45 feet; 2) North 08 degrees 24 minutes 29 seconds East 101.12 feet; 3) North 00 degrees 07 minutes 22 seconds West 100.00 feet; 4) North 08 degrees 39 minutes 13 seconds West 101.12 feet; 5) North 00 degrees 07 minutes 21 seconds West 78.08 feet to the south line of the Replat of Swartz Crossing Commercial Subdivision, recorded as Inst. No.: 2019-009111, Plat Cabinet E, Page 378 in said Recorder's Office; thence South 89 degrees 48 minutes 15 seconds East 2,641.90 feet along said south line to the east line of said quarter section; thence South 00 degrees 14 minutes 03 seconds East 1,271.59 feet along said east line to the south line of the George E. Ellis Excavating Engineer, Inc. property described in Instrument Number 2015-029725 recorded in said Recorder's Office; thence North 89 degrees 58 minutes 52 seconds West 2,644.39 feet along said south line to said easterly right of way line of State Road 135; thence North 00 degrees 07 minutes 25 seconds West 339.15 feet along said right of way line; thence North 89 degrees 56 minutes 49 seconds West 67.07 feet to the point of beginning, and containing 77.548 acres, more or less.

Exhibit B

Preliminary Site Plan



PUD ZONING EXHIBIT



WEIHE
ENGINEERS

10585 N. College Avenue
 Indianapolis, Indiana 46290
 weihe.net
 317 | 844 - 6611



Advenir Oakley Capital, LLC

CENTER GROVE PARK

Date: FEBRUARY 3, 2023

SCALE: 1" = 100'



3111 S. STATE ROAD 135
 GREENWOOD, IN

Exhibit C

Multi-Family Cottage Signage



Monument - **Sign A**

SW 7069 Iron Ore
 SW 6229 Tempe Star
 SW 2813 Downing Straw
 SW 6399 Chamomile
 White
 Faux Wood Texture

Scale: 1/2" = 1'

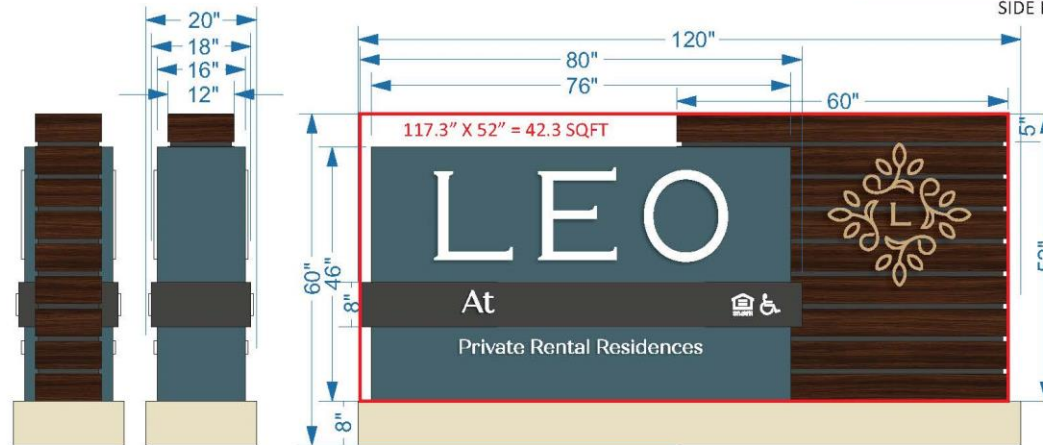
A) ILLUMINATED MONUMENT - DOUBLE SIDED

120" x 60" x 20" - Qty: 2

Aluminum structure w/ push-thru acrylic lettering;
 Day/night vinyl in between wood planks (front and back)
 (Mount w/ 2 post footers per engineering)



SIDE B



SIDE A

PROPERTY NAME	DESCRIPTION	DESIGN DATE	INSTALL DT	DESIGN/AM	JOB NUMBER	PAGE
LEO BRANDED	SIGN PACKAGE	06-08-22	TBD	AA/CS	TBD	1

Client Approval - Print Name: _____ Signature: _____ Date: _____

These designs are the sole property of SignJive and may not be used for bidding purposes.
 Ownership of these designs will be transferred to the client upon purchase of these signs.

Thank You For Choosing Sign Jive!



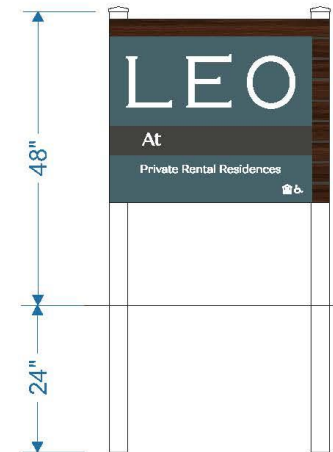


Monument Post - Sign Ab

SW 7069 Iron Ore
 SW 6229 Tempe Star
 White
 Faux Wood Texture

Cap 153 Midnight Blue
 Cap 134 Brown Bronze

Scale: 1" = 1'



Ab) NON-ILLUMINATED SECONDARY ENTRANCE

36" x 30" - Single sided - Qty: 1
 .080 aluminum w/ direct print, ACC
 (Mount to 2-6' posts - 4 caps)

PROPERTY NAME	DESCRIPTION	DESIGN DATE	INSTALL DT	DESIGN/AM	JOB NUMBER	PAGE
LEO BRANDED	SIGN PACKAGE	06-08-22	TBD	AA/CS	TBD	2

Client Approval - Print Name: _____

Signature: _____ Date: _____

*These designs are the sole property of SignJive and may not be used for bidding purposes.
 Ownership of these designs will be transferred to the client upon purchase of these signs.*

Thank You For Choosing Sign Jive!

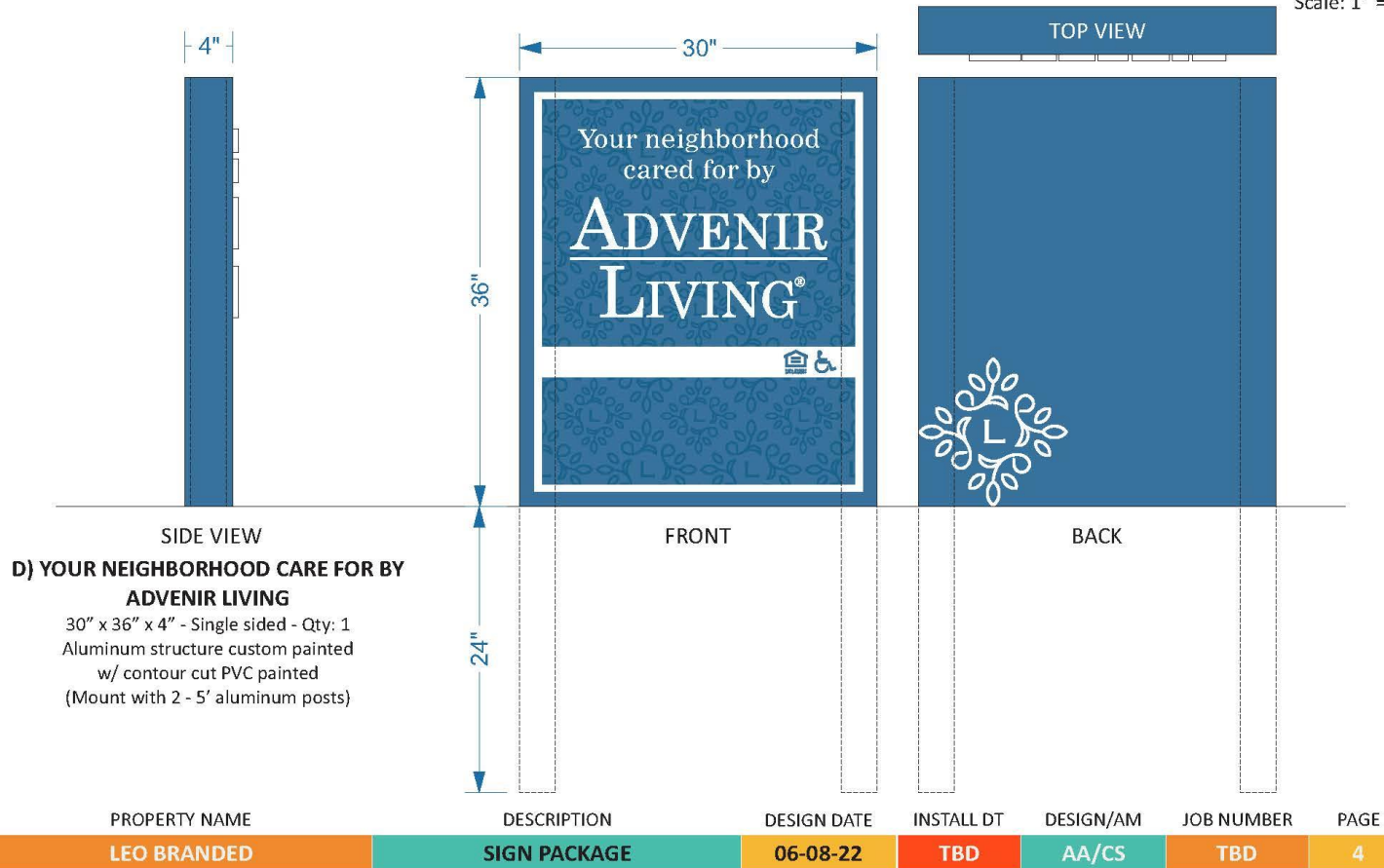




LEO

Sign Package

Scale: 1" = 1'



Client Approval - Print Name: _____

Signature: _____ Date: _____

*These designs are the sole property of SignJive and may not be used for bidding purposes.
Ownership of these designs will be transferred to the client upon purchase of these signs.*

Thank You For Choosing Sign Jive!



Exhibit D

Multi-Family Cottage Unit Tear Sheets - Examples

COTTAGE - 2 BEDROOM



Elevation



Main Level

B201

LEO

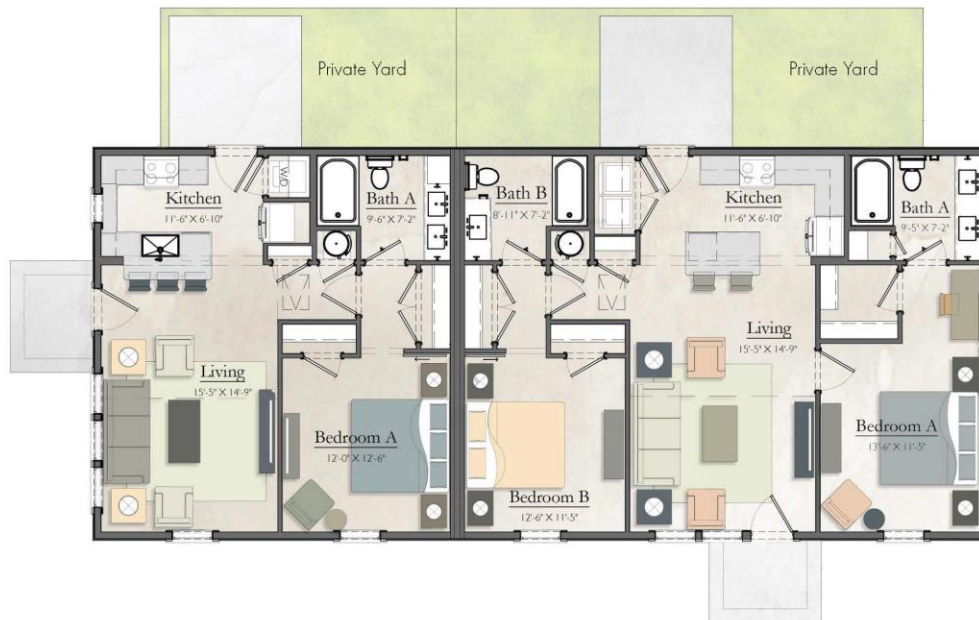
1064 SQ FT

NEED NOT BE BUILT

COTTAGE DUPLEX - 1 & 2 BEDROOM



Elevation



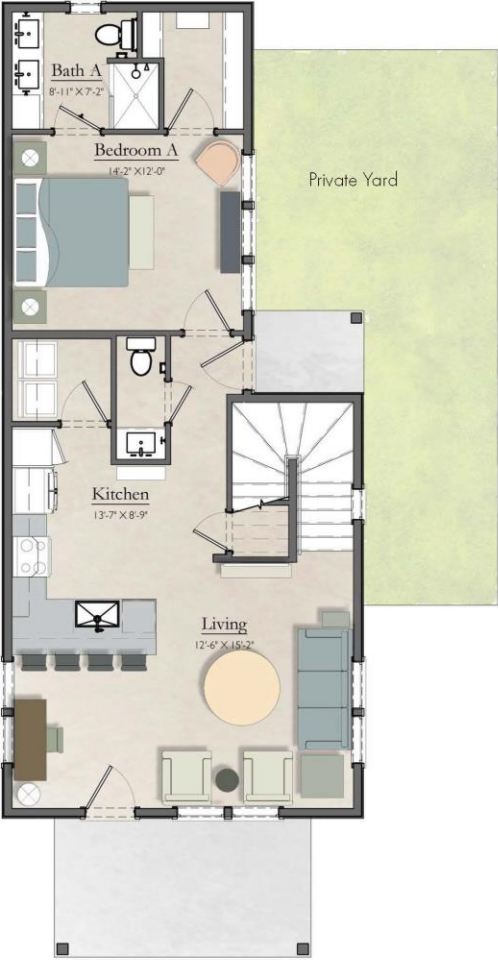
Main Level

A201/B201

728/1064 SQ FT



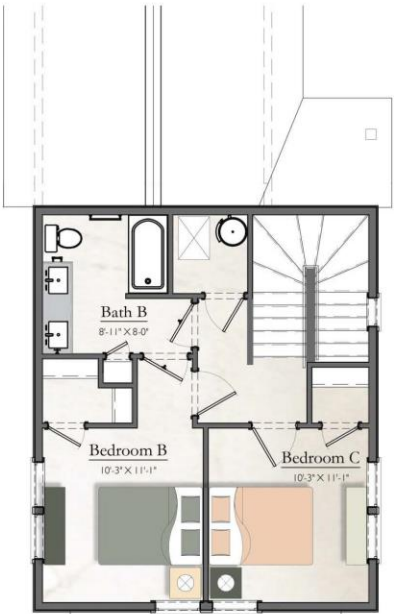
TOWNHOUSE - 3 BEDROOM



Lower Level



Elevation



Upper Level

C400



1372-SQ FT

NEED NOT BE BUILT

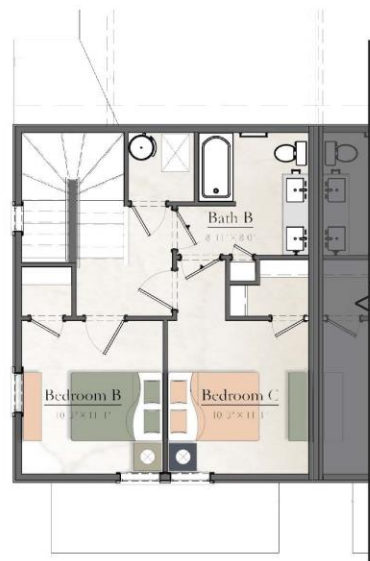
TOWNHOUSE TWIN - 3 BEDROOM



Elevation



Lower Level



Upper Level

C400/C400

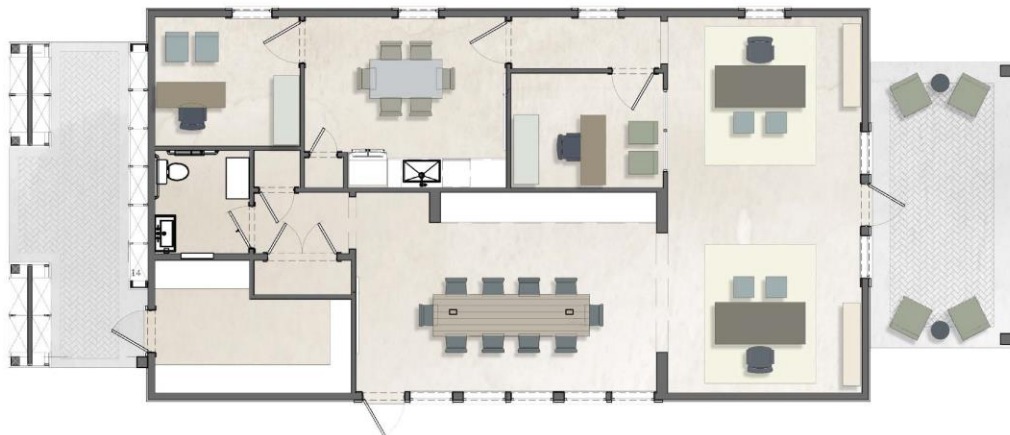
1372/1372 SQ FT



CLUBHOUSE LEASING



Elevation



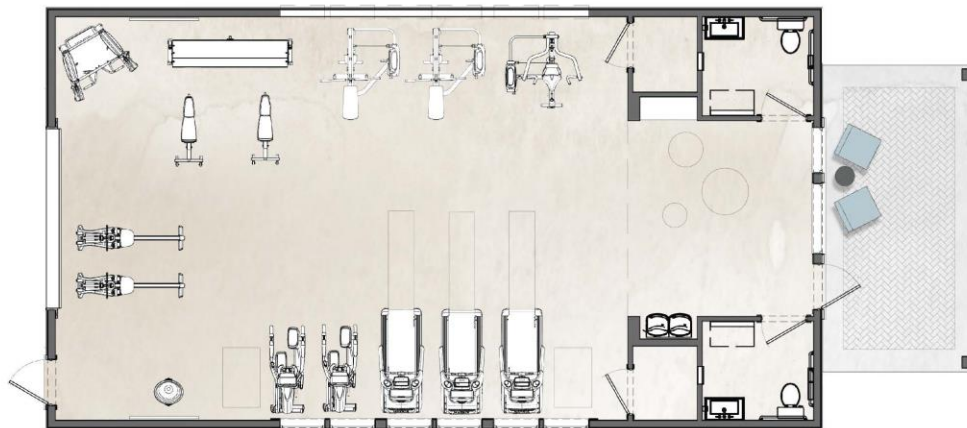
Floor Plan



CLUBHOUSE FITNESS



Elevation



Floor Plan



2 BEDROOM COTTAGE ATTACHED GARAGE



Elevation



Floor Plan

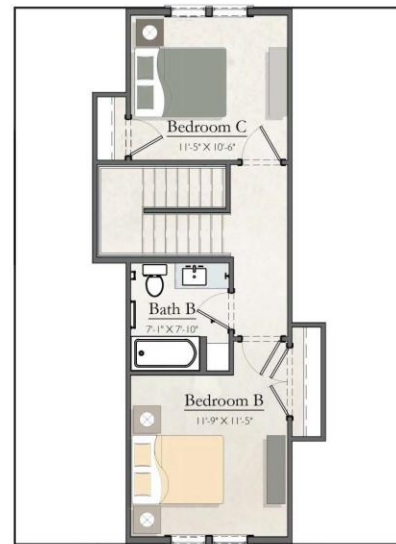
1456 SQ FT



3 BEDROOM COTTAGE ATTACHED GARAGE



Elevation



1456 SQ FT



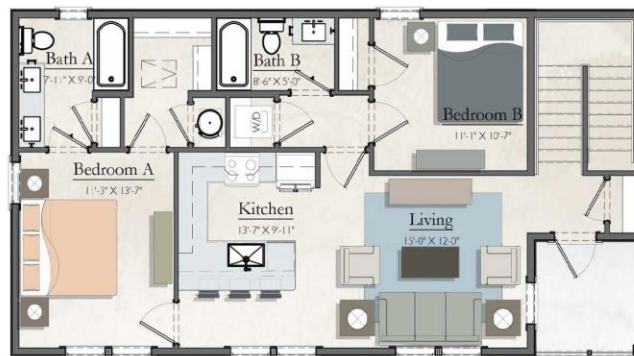
CARRIAGE HOUSE - 2 BEDROOM (INTERIOR STAIR)



Elevation



Upper Floor Plan



Lower Floor Plan



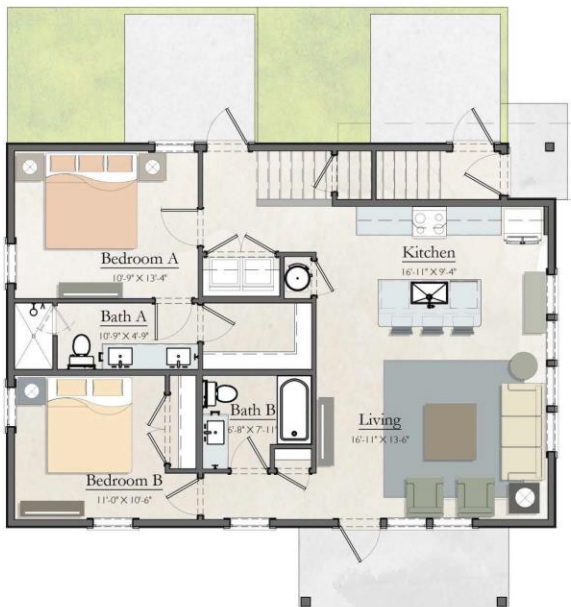
2020 SQ FT



STACKED DUPLEX - 2 BEDROOM



Elevation



Lower Floor Plan



Upper Floor Plan

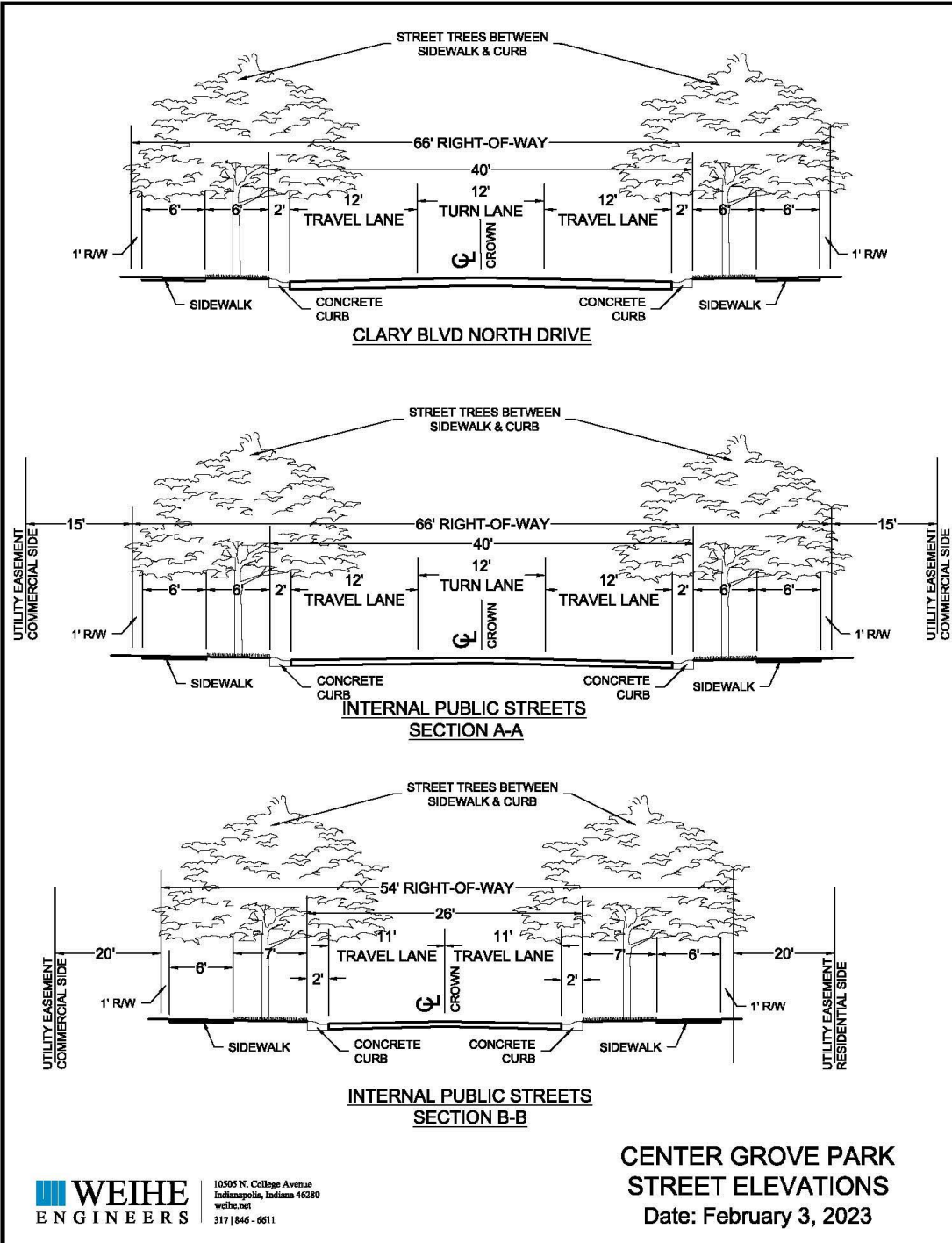
2173 SQ FT

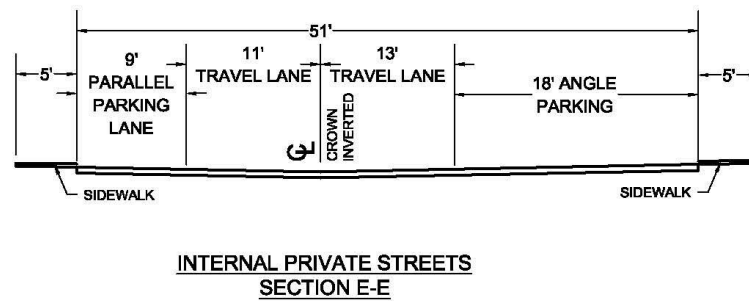
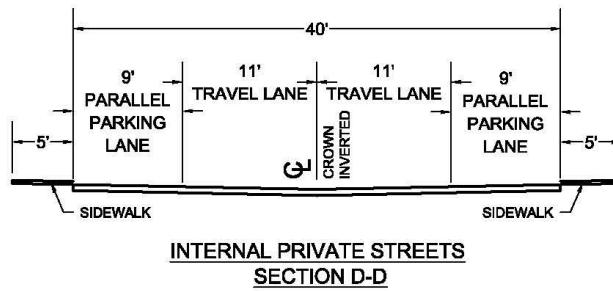
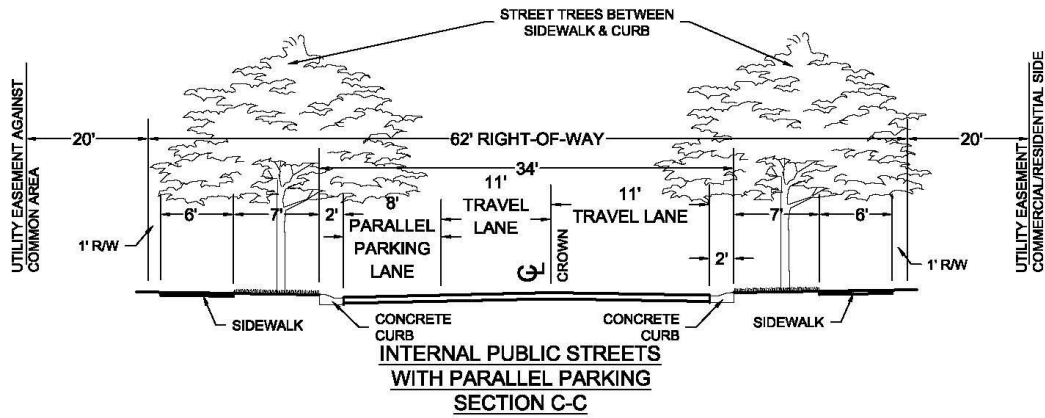


Exhibit E

Street Elevations

LOCATION: C:\Users\wellb\appdata\local\temp\AcPublish_912\W210689prelimbs.dwg
DATE/TIME: February 03, 2023 - 9:53am
PLOTTED BY: wellsb

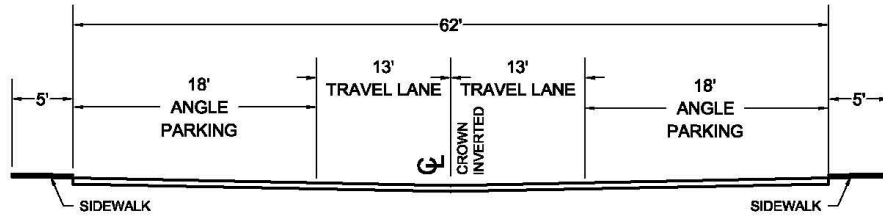




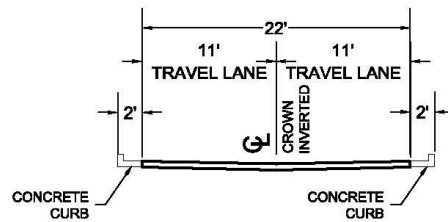
WEIHE
ENGINEERS

10505 N. College Avenue
 Indianapolis, Indiana 46280
 weihe.net
 317 | 846 - 6611

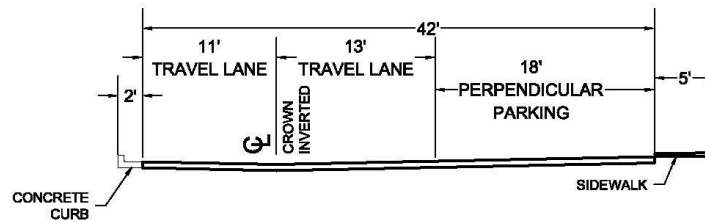
**CENTER GROVE PARK
STREET ELEVATIONS**
 Date: February 3, 2023



**INTERNAL PRIVATE STREETS
SECTION F-F**



**INTERNAL PRIVATE STREETS
SECTION G-G**

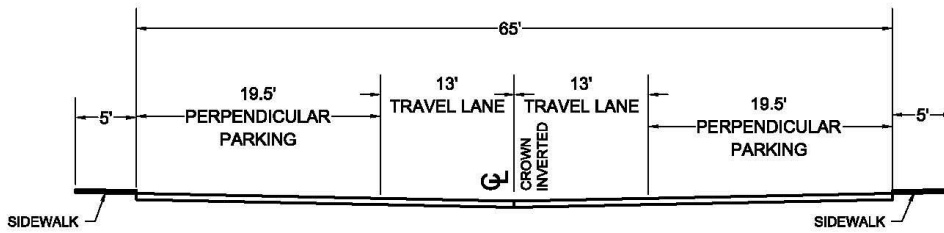


**INTERNAL PRIVATE STREETS
SECTION H-H**

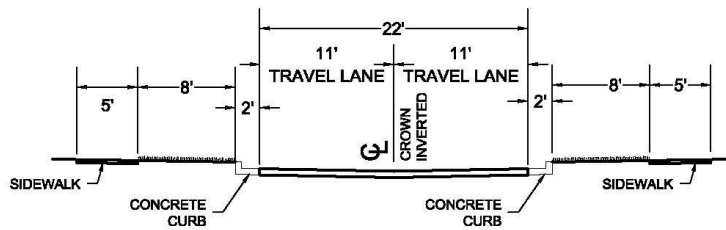
WEIHE
ENGINEERS

10505 N. College Avenue
 Indianapolis, Indiana 46280
 weihe.net
 317 | 846 - 6611

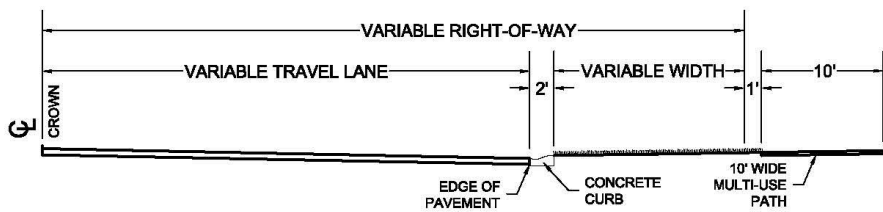
**CENTER GROVE PARK
STREET ELEVATIONS**
 Date: February 3, 2023



INTERNAL PRIVATE STREETS
SECTION I-I



INTERNAL PRIVATE STREETS
SECTION J-J



STATE ROAD 135
SECTION 1-1

WEIHE
 ENGINEERS

10505 N. College Avenue
 Indianapolis, Indiana 46280
 weihe.net
 317 | 846 - 6611

CENTER GROVE PARK
STREET ELEVATIONS
 Date: February 3, 2023



AREA MAP

OPERATING AUTHORITIES

GREENWOOD STREET DEPARTMENT
CITY OF GREENWOOD
367 S WASHINGTON STREET
GREENWOOD, IN 46143
(317) 887-5607
KENNY DUNCAN

GREENWOOD STORMWATER
225 S WASHINGTON STREET
GREENWOOD, IN 46143
(317) 887-4711
CHRIS JONES

GREENWOOD SANITATION DEPARTMENT
367 S WASHINGTON STREET
GREENWOOD, IN 46143
(317) 888-1254
KEITH MEIER

BARGERSVILLE WATER COMPANY
24 N.MAIN STREET
BARGERSVILLE, IN 46106
(317) 422-3170
KEVIN KILLINGTON

COMCAST
2520 ENDRESS PLACE
GREENWOOD, IN 46143
(317) 204-4197

DUKE ENERGY
(812) 662-2007
JESSICA JACKSON
EMAIL: JESSICA.JACKSON@DUKE-ENERGY.COM

VECTREN ENERGY DISTRIBUTION
600 INDUSTRIAL DRIVE
FRANKLIN, IN 46131
(317) 736-2986
STEVE WASHBURN

AT&T
240 NORTH MERIDIAN STREET
INDIANAPOLIS, IN 46220
(317) 252-4290
JEFF RICE

GREENWOOD PLANNING
300 S. MADISON AVENUE
GREENWOOD, IN 46142
(317) 887-5230
GABRIEL NELSON

GREENWOOD ENGINEERING
300 S. MADISON AVE.
GREENWOOD, IN 46142
(317) 887-5230
MARK ST. JOHN, P.E.

JOHNSON COUNTY SURVEYOR
86 EAST COURT STREET
FRANKLIN, INDIANA 46131
(317) 346-4341
GREGG CANTWELL

DESIGN DATA

TOTAL ACREAGE	77.548 AC±
LOT 6 (COTTAGES)	33.31 AC±
LOT 5 (APARTMENTS)	8.60 AC±
LOT 4	2.10 AC±
LOT 3	3.38 AC±
LOT 2	3.41 AC±
LOT 1	1.88 AC±
"A","B" & "C" (COMMON AREA):	18.71 AC±
RIGHT-OF-WAY (PUBLIC):	5.965 AC±
STREET LENGTHS	
SWARTZ CROSSING BLVD	1285.91'
CLARY BLVD N DR	585.97'
(PUBLIC) STREET B	2914.66'
(PRIVATE) STEET A	1650.05'
(PRIVATE) STEET B	448.33'
(PRIVATE) STEET C	448.33'
(PRIVATE) STEET D	1981.31'
(PRIVATE) STEET E	541.00'
(PRIVATE) STEET F	541.00'
(PRIVATE) STEET G	541.00'
(PRIVATE) STEET H	541.00'
(PRIVATE) STEET I	541.00'
(PRIVATE) STEET J	687.51'
(PRIVATE) STEET K	317.98'
CURRENT ZONING	CL&AG
PROPOSED ZONING	PUD
UNDERLYING PUD ZONING	RA,CM,RMC

CONSTRUCTION TIMELINE:
START CONSTRUCTION - JULY 2023
END CONSTRUCTION - JULY 2028

LEGAL DESCRIPTION

PART OF THE NORTHWEST QUARTER AND PART OF THE SOUTHWEST QUARTER OF SECTION 13, TOWNSHIP 13 NORTH, RANGE 3 EAST OF THE SECOND PRINCIPAL MERIDIAN, IN JOHNSON COUNTY, INDIANA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID NORTHWEST QUARTER; THENCE NORTH 00 DEGREES 11 MINUTES 30 SECONDS WEST (ASSUMED BEARING) 1,038.98 FEET ON THE WEST LINE OF SAID QUARTER SECTION; THENCE NORTH 89 DEGREES 59 MINUTES 52 SECONDS EAST 68.03 FEET TO THE EASTERLY BOUNDARY OF STATE ROAD 135 RECORDED IN INSTRUMENT NUMBER 2009-024821 IN SAID RECORDER'S OFFICE TO THE POINT OF BEGINNING; THENCE NORTH 89 DEGREES 48 MINUTES 15 SECONDS EAST 2641.95 FEET TO THE EAST LINE OF SAID QUARTER SECTION; THENCE ALONG SAID EAST LINE SOUTH 00 DEGREES 14 MINUTES 03 SECONDS EAST 1271.59 FEET; THENCE NORTH 89 DEGREES 58 MINUTES 52 SECONDS WEST 2644.39 FEET TO THE EASTERLY BOUNDARY OF SAID STATE ROAD 135; THENCE NORTH 00 DEGREES 07 MINUTES 25 SECONDS EAST 339.15 FEET ALONG SAID EASTERLY BOUNDARY; THENCE NORTH 00 DEGREES 07 MINUTES 19 SECONDS WEST 138.06 FEET ALONG SAID EASTERLY BOUNDARY; THENCE NORTH 00 DEGREES 07 MINUTES 23 SECONDS WEST 424.45 FEET ALONG SAID EASTERLY BOUNDARY; THENCE NORTH 08 DEGREES 24 MINUTES 29 SECONDS EAST 101.12 FEET ALONG SAID EASTERLY BOUNDARY; THENCE NORTH 00 DEGREES 07 MINUTES 22 SECONDS WEST 100.00 FEET ALONG SAID EASTERLY BOUNDARY; THENCE NORTH 08 DEGREES 39 MINUTES 13 SECONDS WEST 101.12 FEET ALONG SAID EASTERLY BOUNDARY; THENCE NORTH 00 DEGREES 07 MINUTES 20 SECONDS WEST 78.08 FEET ALONG SAID EASTERLY BOUNDARY TO THE POINT OF BEGINNING, AND CONTAINING 77.548 ACRES, MORE OR LESS.

DRAINAGE STATEMENT

CENTER GROVE PARK INCLUDES PROPOSED STORM INFRASTRUCTURE AND GRADING TO ROUTE DRAINAGE INTO (2) WET PONDS; DESIGNED PER CITY GREENWOOD'S STANDARDS. WET PONDS WILL OUTLET TO HONEY CREEK; DESIGNED PER JOHNSON COUNTY SURVEYOR'S OFFICE STANDARDS.

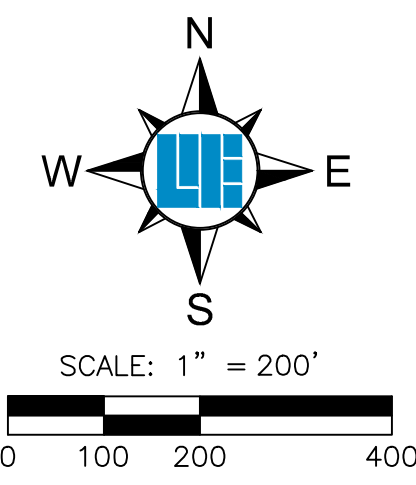
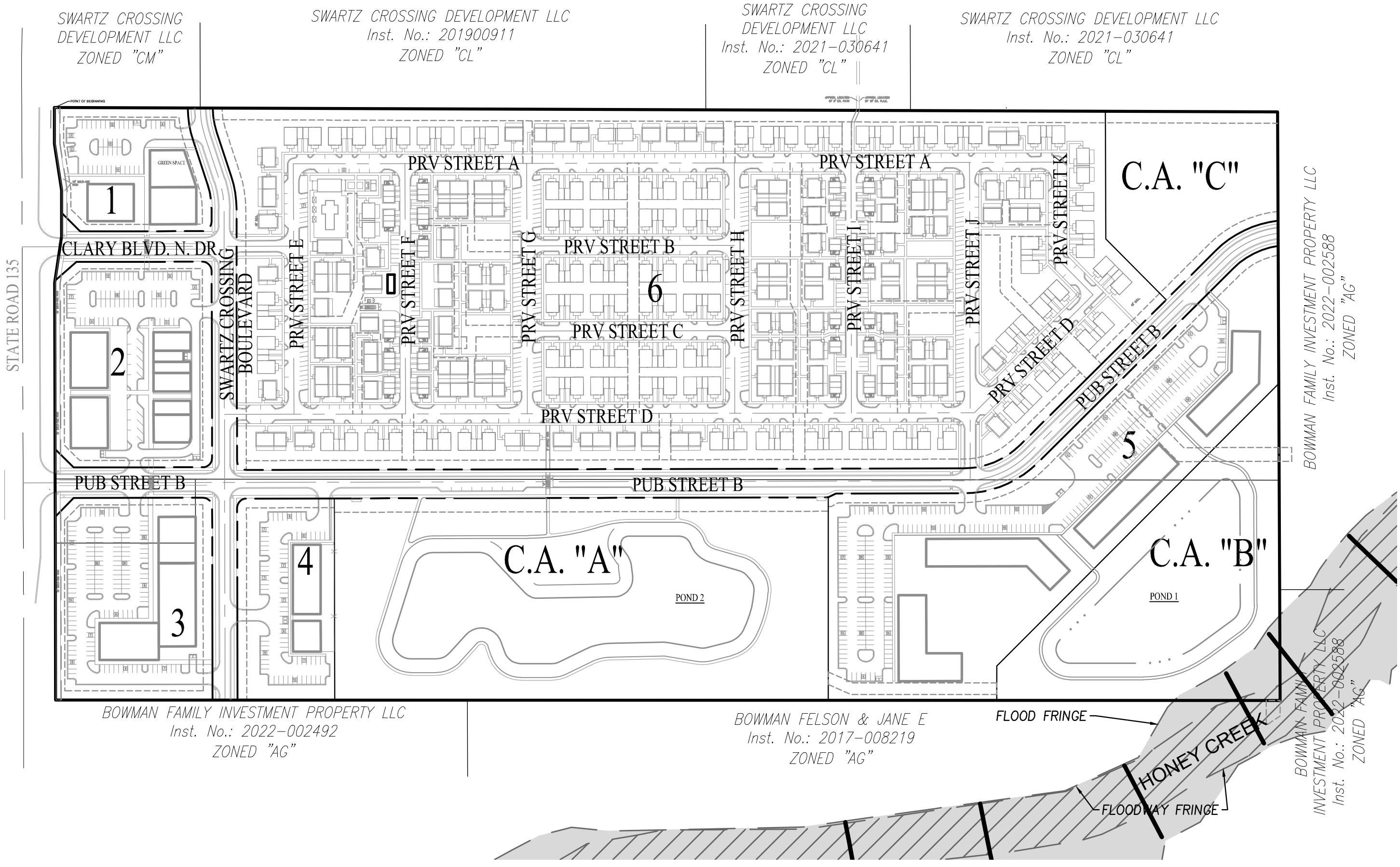
CONCEPT PLANS

For:

CENTER GROVE PARK

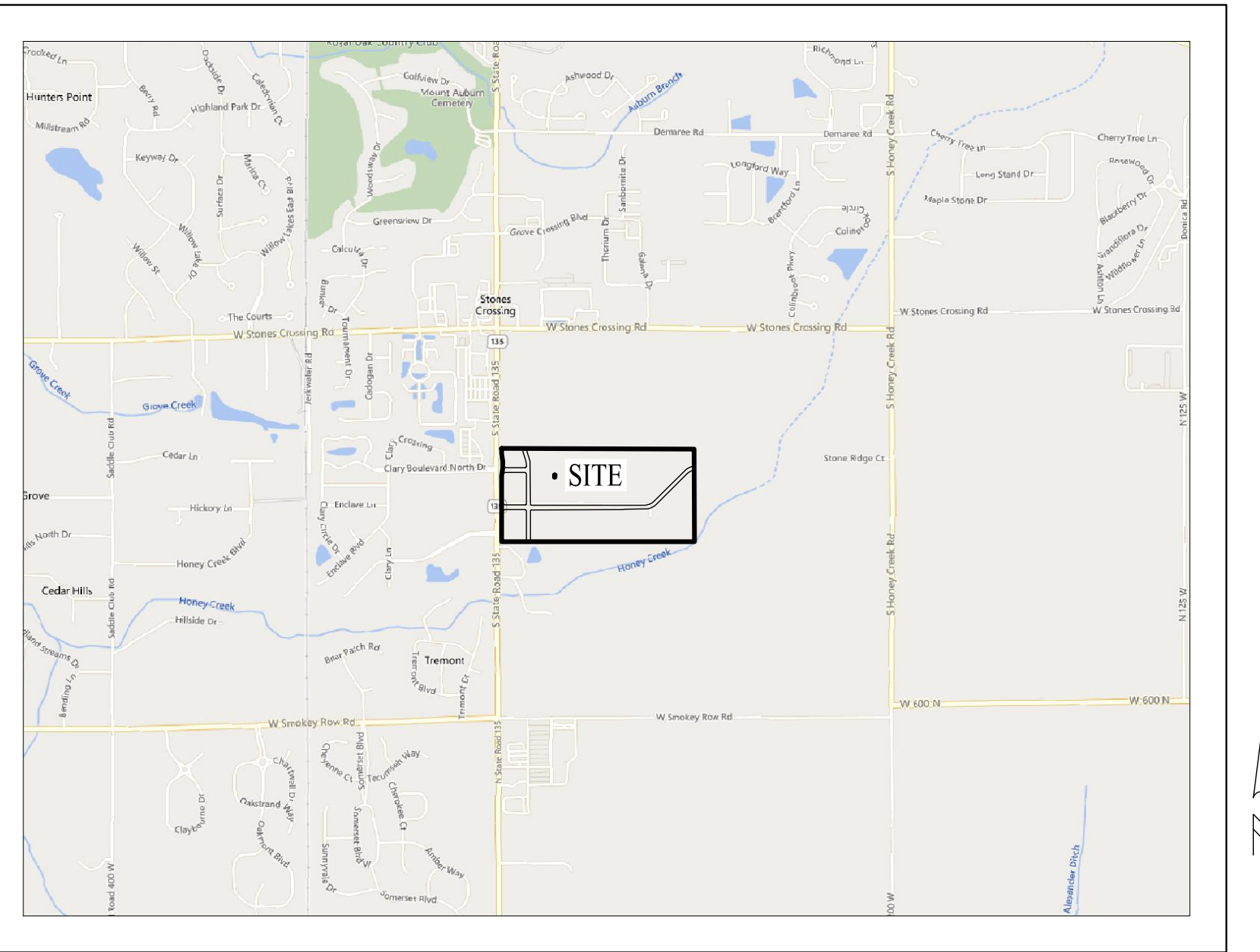
3111 S. State Road 135

City of Greenwood, Section 13-T13N-R3E, White River Township, Johnson County, Indiana



SURVEY CONTROL INFORMATION

HORIZONTAL COORDINATES ARE BASED ON NAD83 INDIANA STATE PLANE, WEST ZONE - AND WERE ESTABLISHED BY RTK GPS OBSERVATIONS UTILIZING THE INDOT INCORS NETWORK. THE SURVEY AND COORDINATES ARE IN U.S. SURVEY FEET. THE VERTICAL CONTROL AND BENCHMARKS WERE ESTABLISHED BY UTILIZING RTK GPS OBSERVATIONS (INDOT INCORS NETWORK). GPS OBSERVATIONS USE THE GEOID (G2012BU7) BASED ON THE VERTICAL DATUM NAVD 88 TO CALCULATE THE ORTHOMETRIC HEIGHTS (ELEVATIONS). AN ONSITE TEMPORARY BENCHMARK (TBM 1) WAS ESTABLISHED FROM THESE GPS OBSERVATIONS. FROM THE ESTABLISHED TEMPORARY BENCHMARK (TBM 1) AN ONSITE LEVEL CIRCUIT WAS RAN THROUGH THE CONTROL POINTS. THE VERTICAL DATUM FOR THIS SURVEY IS NAVD 88. TERRA SITE DEVELOPMENT ESTABLISHED THE CONTROL.



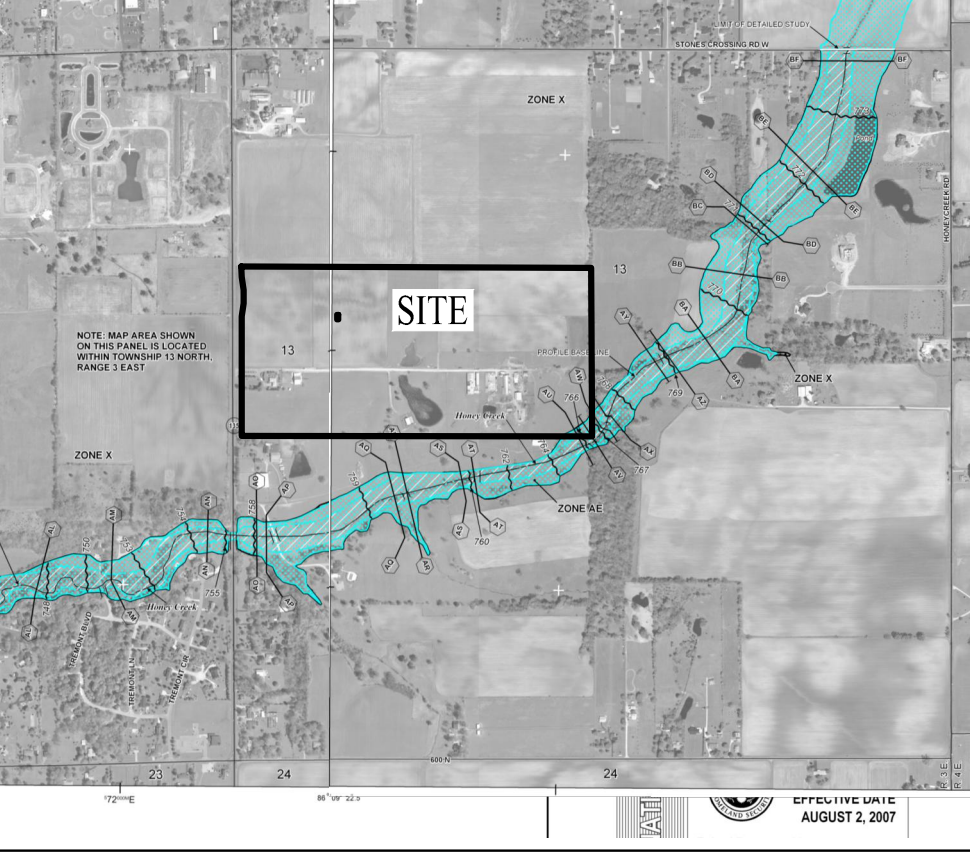
VICINITY MAP

SHEET INDEX

SHEET NO.	DESCRIPTION
P001	TITLE SHEET
P002-P005	EXISTING CONDITIONS
P006	OVERALL SITE PLAN
P007-P010	SITE PLAN
P011-P014	UTILITY PLAN

PLANS PREPARED FOR
ADVENIR OAKLEY DEVELOPMENT, LLC
17501 BISCAYNE BLVD., SUITE 300
AVENTURA, FL 33160
TELEPHONE: (305) 450-8233
CONTACT PERSON: SCOTT WEATHERS
EMAIL: SWeathers@adveniroakleycapitol.com

PLANS PREPARED BY
WEIHE ENGINEERS, INC.
10505 N. COLLEGE AVE.
INDIANAPOLIS, INDIANA 46280
TELEPHONE: (317) 846-6611
FAX: (317) 843-0546
CONTACT PERSON: KEVIN SUMNER, P.S.
EMAIL: SUMNERK@WEIHE.NET



FLOOD MAP

10505 N. College Avenue
Indianapolis, Indiana 46280
weihe.net
317 | 846 - 6611
800 | 452 - 6408
317 | 843 - 0546 fax
ALLAN H. WEIHE, P.L.L.C. - FOUNDER

WEIHE ENGINEERS
Land Surveying | Civil Engineering
Landscape Architecture

PROJECT NO.: W210689	DATE: 02/01/2023
DWG NAME:	BY: BM
DESIGNED BY:	CHECKED BY: KCS
DRAWN BY: JRV	

REVISIONS AND ISSUES
12/28/2022

KEVIN C. SUMNER
REGISTERED
No. 20400011
STATE OF INDIANA
LAND SURVEYOR
Kevin C. Sumner
KEVIN C. SUMNER L.S. 20400011

PREPARED FOR:
CENTER GROVE PARK
ADVENIR OAKLEY DEVELOPMENT, LLC
TITLE SHEET
Section 13, Township 13 North, Range 3 East, White River Township, Johnson County, IN

SHEET NO.
P001
PROJECT NO.
W210689

LOCATION: H:\2021\W210689\Engineering\preliminary\survey\W210689.dwg
DATE/TIME: February 07, 2023 - 2:50pm
PLOTED BY: weihe

PLANS PREPARED FOR
ADVENIR OAKLEY DEVELOPMENT, LLC
17501 BISCAYNE BLVD., SUITE 300
AVENTURA, FL 33160
TELEPHONE: (305) 450-8233
CONTACT PERSON: SCOTT WEATHERS
EMAIL: SWeathers@adveniroakleycapitol.com



PLANS PREPARED BY
WEIHE ENGINEERS, INC.
10505 N. COLLEGE AVE.
INDIANAPOLIS, INDIANA 46280
TELEPHONE: (317) 846-6611
FAX: (317) 843-0546
CONTACT PERSON: KEVIN SUMNER, P.S.
EMAIL: SUMNERK@WEIHE.NET

LEGEND

- | | | | |
|--|------------------------------|--|-------------------------------|
| | EXISTING FIRE HYDRANT | | EXISTING POST |
| | EXISTING GAS PIPELINE MARKER | | EXISTING SIGN |
| | EXISTING GAS VALVE | | EXISTING STREET LIGHT |
| | EXISTING UTILITY POLE | | EXISTING GUY ANCHOR |
| | EXISTING WATER VALVE | | EXISTING COMMUNICATIONS RISER |
| | EXISTING STORM INLET | | BENCH MARK |
| | EXISTING STORM MANHOLE | | TEMPORARY BENCHMARK |
| | EXISTING SANITARY MANHOLE | | TEE IRON FOUND |
| | EX. EXISTING | | EXISTING GUARD RAIL |
| | BFE BASE FLOOD ELEVATION | | EXISTING EASEMENT |
| | EXISTING TREE LINE | | BENCHMARK |
| | EXISTING OVERHEAD UTILITY | | ELEVATION |
| | POWER POLE | | REGULATED DRAINAGE EASEMENT |
| | DECIDUOUS TREE | | SANITARY SEWER EASEMENT |
| | CONIFEROUS TREE | | |
| | SHRUB - SMALL TREE | | |
| | GUY POST | | |

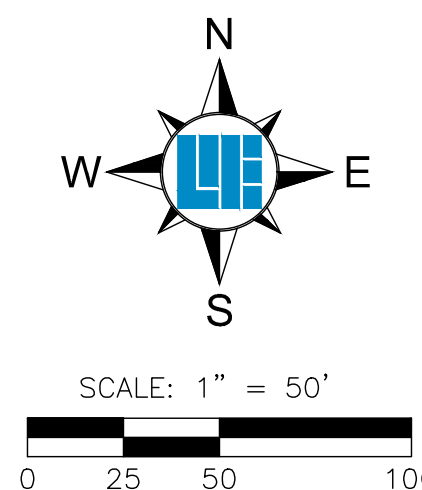
LEGAL DESCRIPTION

PART OF THE NORTHWEST QUARTER AND PART OF THE SOUTHWEST QUARTER OF SECTION 13, TOWNSHIP 13 NORTH, RANGE 3 EAST OF THE SECOND PRINCIPAL MERIDIAN, IN JOHNSON COUNTY, INDIANA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID NORTHWEST QUARTER; THENCE NORTH 00 DEGREES 11 MINUTES 30 SECONDS WEST (ASSUMED BEARING) 1,038.98 FEET ON THE WEST LINE OF SAID QUARTER SECTION; THENCE NORTH 89 DEGREES 59 MINUTES 52 SECONDS EAST 68.03 FEET TO THE EASTERLY BOUNDARY OF STATE ROAD 135 RECORDED IN INSTRUMENT NUMBER 2009-024821 IN SAID RECORDER'S OFFICE TO THE POINT OF BEGINNING; THENCE NORTH 89 DEGREES 48 MINUTES 15 SECONDS EAST 2641.95 FEET TO THE EAST LINE OF SAID QUARTER SECTION; THENCE ALONG SAID EAST LINE SOUTH 00 DEGREES 14 MINUTES 03 SECONDS EAST 1271.59 FEET; THENCE NORTH 89 DEGREES 58 MINUTES 52 SECONDS WEST 2644.39 FEET TO THE EASTERLY BOUNDARY OF SAID STATE ROAD 135; THENCE NORTH 00 DEGREES 07 MINUTES 25 SECONDS EAST 339.15 FEET ALONG SAID EASTERLY BOUNDARY; THENCE NORTH 00 DEGREES 07 MINUTES 19 SECONDS WEST 138.06 FEET ALONG SAID EASTERLY BOUNDARY; THENCE NORTH 00 DEGREES 07 MINUTES 23 SECONDS WEST 424.45 FEET ALONG SAID EASTERLY BOUNDARY; THENCE NORTH 08 DEGREES 24 MINUTES 29 SECONDS EAST 101.12 FEET ALONG SAID EASTERLY BOUNDARY; THENCE NORTH 00 DEGREES 07 MINUTES 22 SECONDS WEST 100.00 FEET ALONG SAID EASTERLY BOUNDARY; THENCE NORTH 08 DEGREES 39 MINUTES 13 SECONDS WEST 101.12 FEET ALONG SAID EASTERLY BOUNDARY; THENCE NORTH 00 DEGREES 07 MINUTES 20 SECONDS WEST 78.08 FEET ALONG SAID EASTERLY BOUNDARY TO THE POINT OF BEGINNING, AND CONTAINING 77.548 ACRES, MORE OR LESS.

SURVEY CONTROL INFORMATION

HORIZONTAL COORDINATES ARE BASED ON NAD83 INDIANA STATE PLANE, WEST ZONE - AND WERE ESTABLISHED BY RTK GPS OBSERVATIONS UTILIZING THE INDOT INCORS NETWORK. THE SURVEY AND COORDINATES ARE IN U.S. SURVEY FEET. THE VERTICAL CONTROL AND BENCHMARKS WERE ESTABLISHED BY UTILIZING RTK GPS OBSERVATIONS (INDOT INCORS NETWORK). GPS OBSERVATIONS USE THE GEOID (G2012BU7) BASED ON THE VERTICAL DATUM NAVD 88 TO CALCULATE THE ORTHOMETRIC HEIGHTS (ELEVATIONS). AN ONSITE TEMPORARY BENCHMARKS (TBM 1 & 2) WERE ESTABLISHED FROM THESE GPS OBSERVATIONS. FROM THE ESTABLISHED TEMPORARY BENCHMARK (TBM 1) AN ONSITE LEVEL CIRCUIT WAS RAN THROUGH THE CONTROL POINTS. THE VERTICAL DATUM FOR THIS SURVEY IS NAVD 88. TERRA SITE DEVELOPMENT ESTABLISHED THE CONTROL.



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ENGINEERS
Land Surveying | Civil Engineering
Landscape Architecture

PROJECT NO.:	W210689
DWG NAME:	
DESIGNED BY:	
DRAWN BY:	JRV
CHECKED BY:	KCS
DATE:	

DATE:	02/07/2023
BY:	BM

REVISIONS AND ISSUES
REVISED PER TECH COMMENTS
12/28/2022



Kevin C. Sumner
KEVIN C. SUMNER L.S. 20400011

PREPARED FOR:
CENTER GROVE PARK
ADVENIR OAKLEY DEVELOPMENT, LLC
EXISTING CONDITIONS
Section 13, Township 13 North, Range 3 East, White River Township, Johnson County, IN

SHEET NO.
P002
PROJECT NO.
W210689

LOCATION: I:\2021\W210688\Engineering\preliminary\plan\W210688.dwg
DATE/TIME: February 07, 2023 - 2:50pm
PLOTED BY: weihe



PLANS PREPARED FOR
ADVENIR OAKLEY DEVELOPMENT, LLC
17501 BISCAYNE BLVD., SUITE 300
AVENTURA, FL 33160
TELEPHONE: (305) 450-8233
CONTACT PERSON: SCOTT WEATHERS
EMAIL: SWeathers@adveniroakleycapitol.com

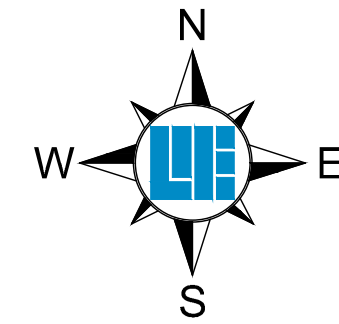
PLANS PREPARED BY
WEIHE ENGINEERS, INC.
10505 N. COLLEGE AVE.
INDIANAPOLIS, INDIANA 46280
TELEPHONE: (317) 846-6611
FAX: (317) 843-0546
CONTACT PERSON: KEVIN SUMNER, P.S.
EMAIL: SUMNERK@WEIHE.NET

LEGEND

- | | | | |
|--------------------------|------------------------------|-----------------------------------|-------------------------------|
| | EXISTING FIRE HYDRANT | | EXISTING POST |
| | EXISTING GAS PIPELINE MARKER | | EXISTING SIGN |
| | EXISTING GAS VALVE | | EXISTING STREET LIGHT |
| | EXISTING UTILITY POLE | | EXISTING GUY ANCHOR |
| | EXISTING WATER VALVE | | EXISTING COMMUNICATIONS RISER |
| | EXISTING WATER VALVE | | BENCH MARK |
| | EXISTING STORM INLET | | TEMPORARY BENCH MARK |
| | EXISTING STORM MANHOLE | | TEE IRON FOUND |
| | EXISTING SANITARY MANHOLE | | EXISTING GUARD RAIL |
| EX. EXISTING | | | EXISTING EASEMENT |
| BFE BASE FLOOD ELEVATION | | BM BENCHMARK | BENCHMARK |
| | EXISTING TREE LINE | ELEV ELEVATION | ELEVATION |
| | EXISTING OVERHEAD UTILITY | R.D.E REGULATED DRAINAGE EASEMENT | REGULATED DRAINAGE EASEMENT |
| | POWER POLE | S.S.E SANITARY SEWER EASEMENT | SANITARY SEWER EASEMENT |
| | DECIDUOUS TREE | | |
| | CONIFEROUS TREE | | |
| | SHRUB - SMALL TREE | | |
| | GUY POST | | |

GEORGE E ELLIS EXCAVATING & ENGINEERING INC
ORD 08/58

BOWMAN FAMILY INVESTMENT PROPERTY LLC
Inst. No.: 2022-002492



SCALE: 1" = 50'
0 25 50 100



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Land Surveying/Civil Engineering
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PROJECT NO.:	W210688
DWG NAME:	
DESIGNED BY:	JRV
DRAWN BY:	JRV
CHECKED BY:	KCS
DATE:	

DATE:	02/07/2023
BY:	BM

REVISIONS AND ISSUES
REVISED PER TECH COMMENTS
12/28/2022



Kevin C. Sumner
KEVIN C. SUMNER L.S. 20400011

PREPARED FOR:
CENTER GROVE PARK
ADVENIR OAKLEY DEVELOPMENT, LLC
EXISTING CONDITIONS
Section 13, Township 13 North, Range 3 East, White River Township, Johnson County, IN

SHEET NO.
P003
PROJECT NO.
W210688

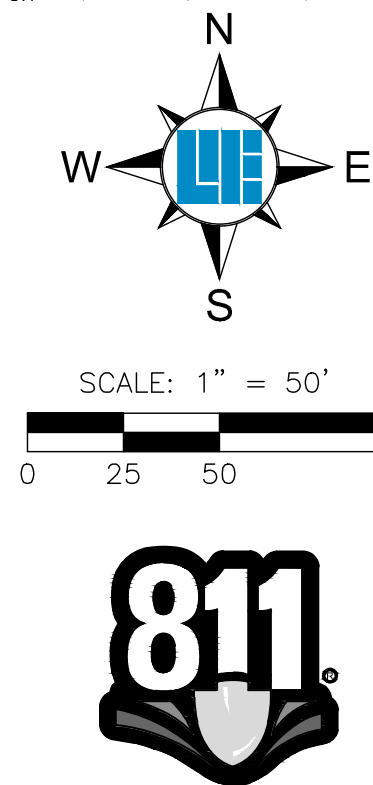
LOCATION: I:\2021\W210688\Engineering\preliminary\plan\W210688.dwg
DATE/TIME: January 07, 2023 - 2:50pm
PLOTED BY: weihe



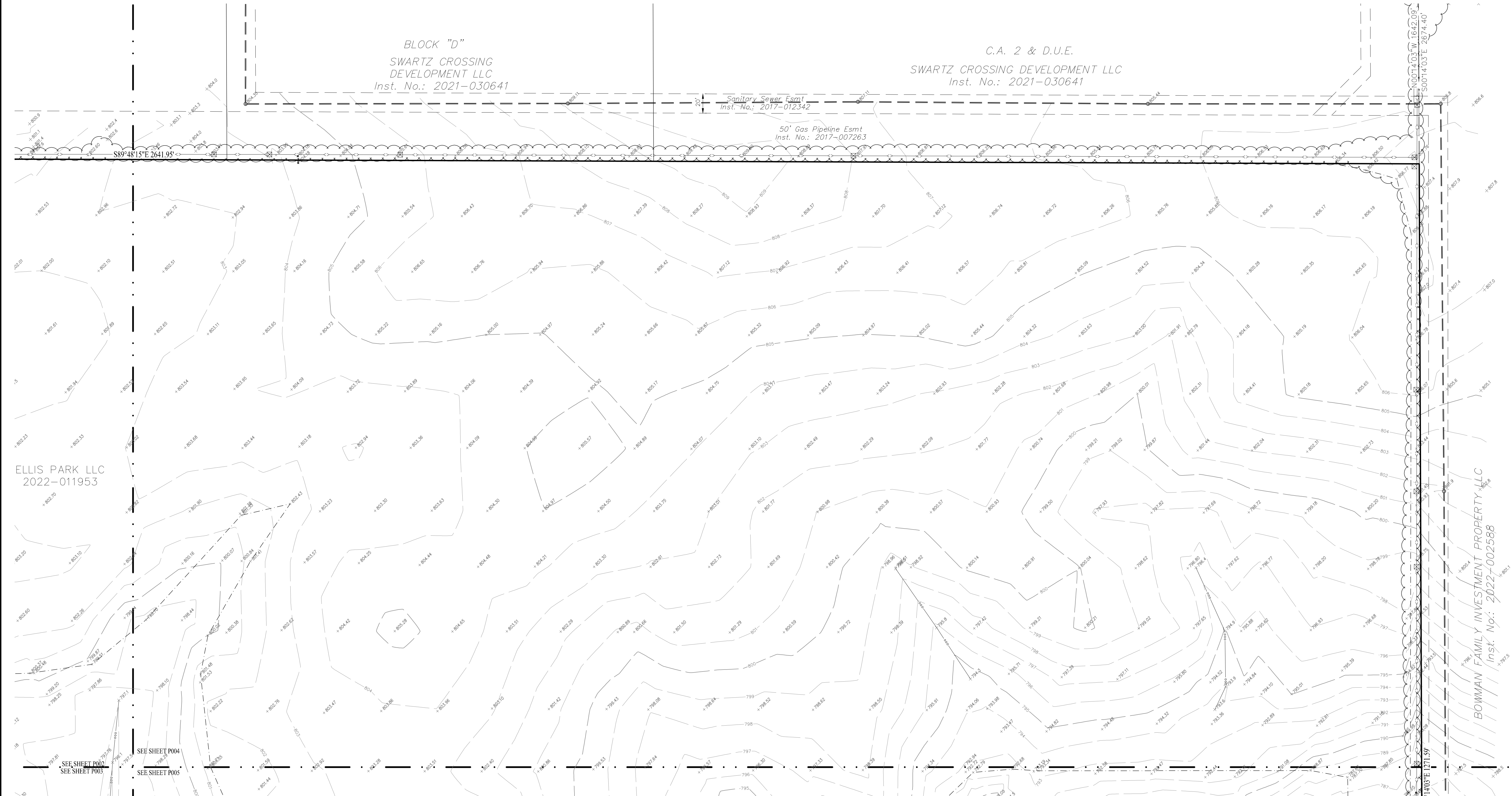
PLANS PREPARED FOR
ADVENIR OAKLEY DEVELOPMENT, LLC
17501 BISCAYNE BLVD., SUITE 300
AVENTURA, FL 33160
TELEPHONE: (305) 450-8233
CONTACT PERSON: SCOTT WEATHERS
EMAIL: SWeathers@adveniroakleycapitol.com

PLANS PREPARED BY
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10505 N. COLLEGE AVE.
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TELEPHONE: (317) 846-6611
FAX: (317) 843-0546
CONTACT PERSON: KEVIN SUMNER, P.S.
EMAIL: SUMNERK@WEIHE.NET

LEGEND	
	EXISTING FIRE HYDRANT
	EXISTING GAS PIPELINE MARKER
	EXISTING GAS VALVE
	EXISTING UTILITY POLE
	EXISTING WATER VALVE
	EXISTING STORM INLET
	EXISTING STORM MANHOLE
	EXISTING SANITARY MANHOLE
EX.	EXISTING
BFE	BASE FLOOD ELEVATION
	EXISTING TREE LINE
	EXISTING OVERHEAD UTILITY
	POWER POLE
	DECIDUOUS TREE
	CONIFEROUS TREE
	SHRUB - SMALL TREE
	GUY POST
	EXISTING POST
	EXISTING SIGN
	EXISTING STREET LIGHT
	EXISTING GUY ANCHOR
	EXISTING COMMUNICATIONS RISER
	BENCH MARK
	TEMPORARY BENCHMARK
	TEE IRON FOUND
	EXISTING GUARD RAIL
	EXISTING EASEMENT
BM	BENCHMARK
ELEV	ELEVATION
R.D.E	REGULATED DRAINAGE EASEMENT
S.S.E.	SANITARY SEWER EASEMENT



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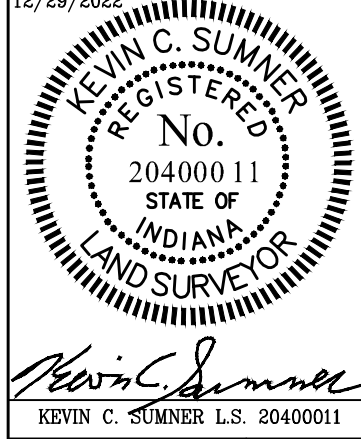


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Landscape Architecture

PROJECT NO.:	BY:
W210689	BM
DWG NAME:	DATE:
	02/07/2023
DESIGNED BY:	DRAWN BY:
JFY	JFY
CHECKED BY:	KCS

REVISIONS AND ISSUES
REVISED PER TECH COMMENTS
12/28/2022

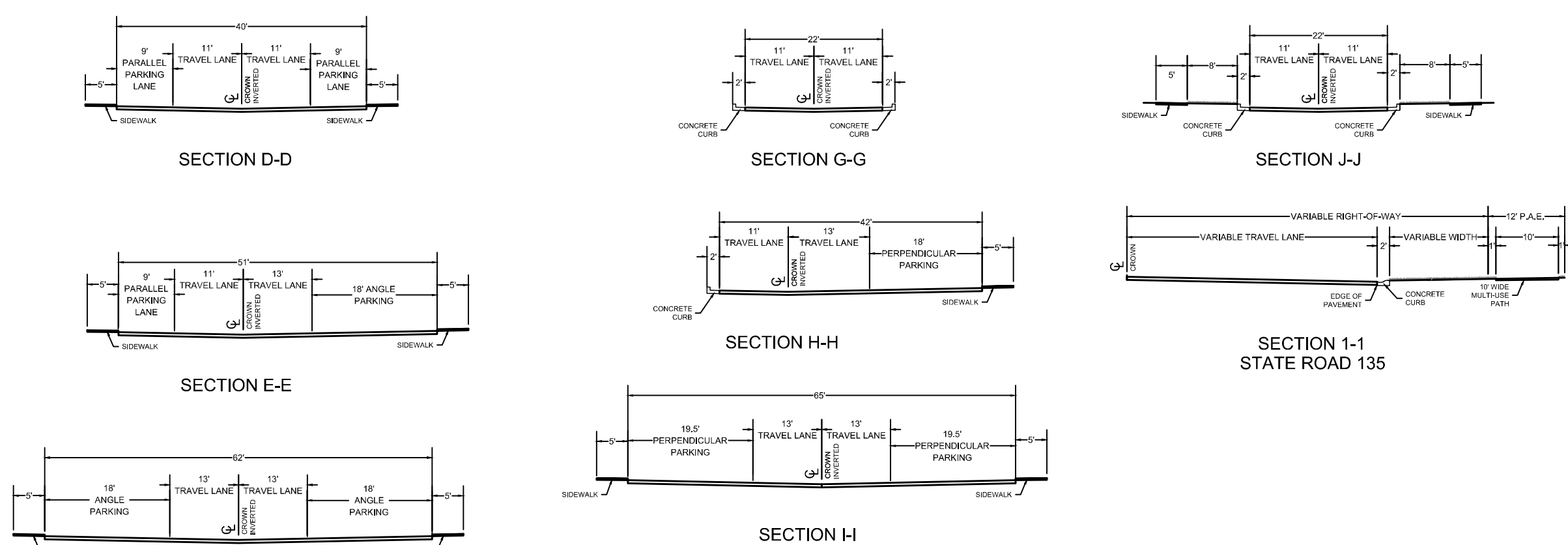
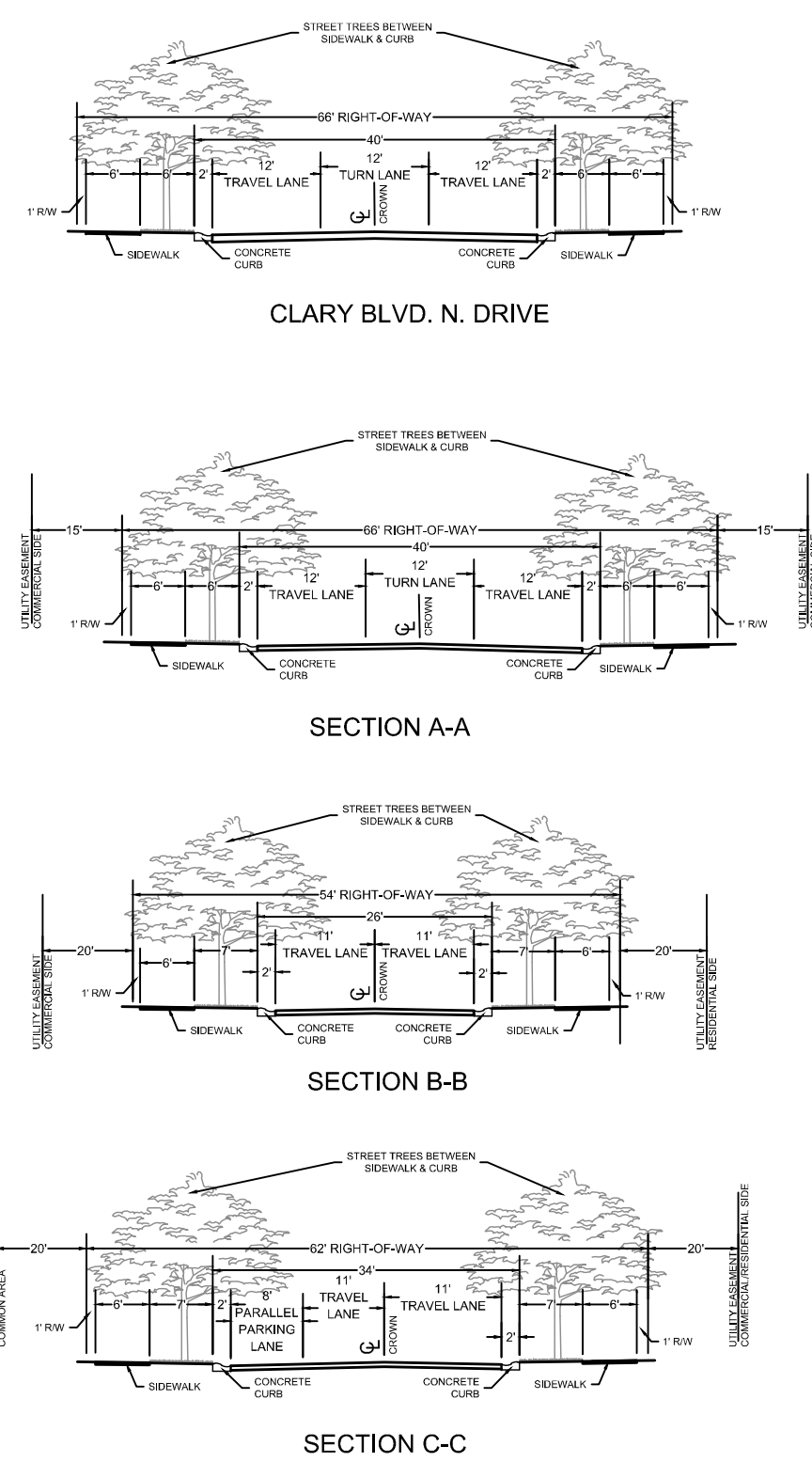
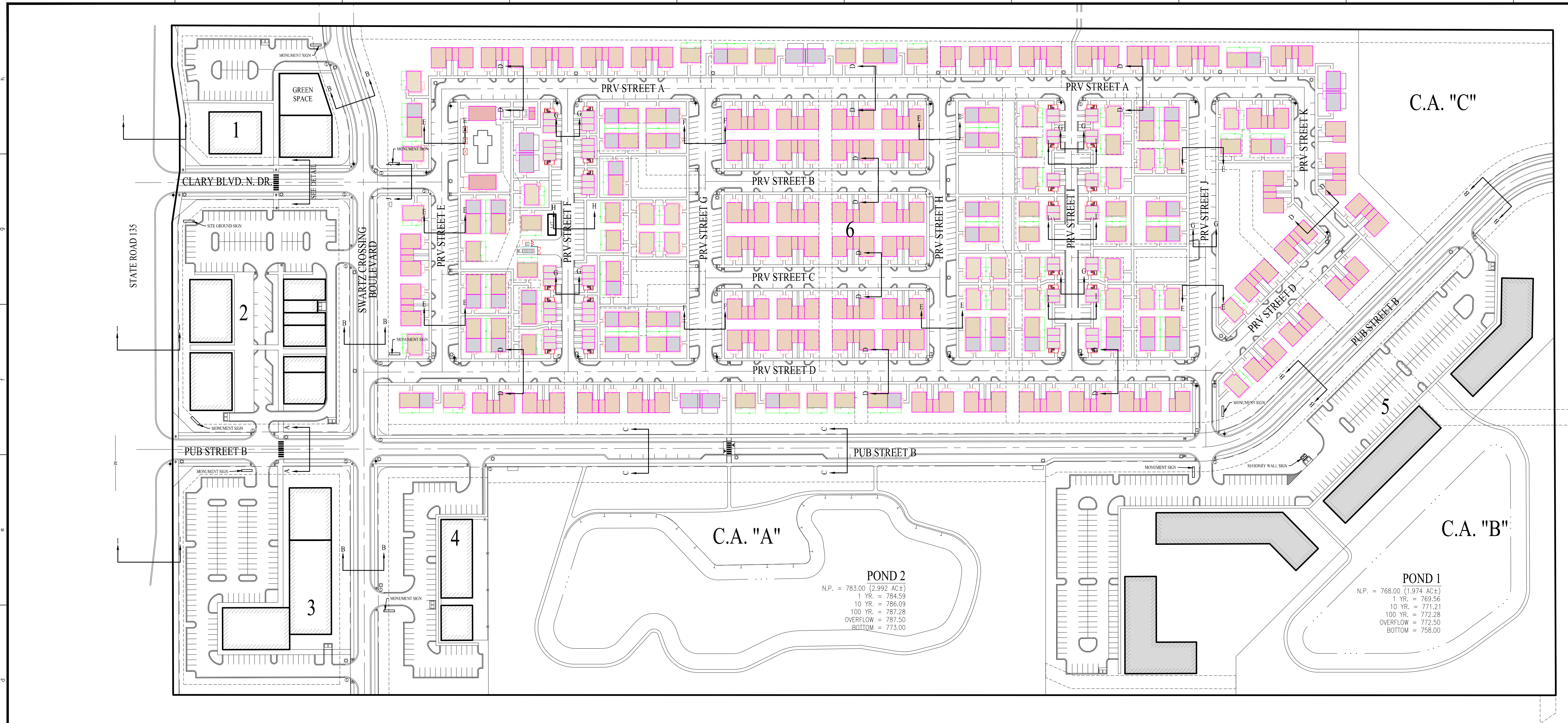


PREPARED FOR:
CENTER GROVE PARK
ADVENIR OAKLEY DEVELOPMENT, LLC
EXISTING CONDITIONS
Section 13, Township 13 North, Range 3 East, White River Township, Johnson County, IN

SHEET NO.
P004

PROJECT NO.
W210689

LOCATION: I:\2021\W210689\Engineering\preliminary\preliminary plan\006 Overall Site Plan.dwg
DATE/TIME: February 08, 2023 - 10:27am
PLOTED BY: weibe



LEGEND

- | | | | |
|---------------------------|------------------------------|--|-------------------------------|
| | EXISTING FIRE HYDRANT | | EXISTING POST |
| | EXISTING GAS PIPELINE MARKER | | EXISTING SIGN |
| | EXISTING GAS VALVE | | EXISTING STREET LIGHT |
| | EXISTING UTILITY POLE | | EXISTING GUY ANCHOR |
| | EXISTING WATER VALVE | | EXISTING COMMUNICATIONS RISER |
| | EXISTING STORM INLET | | BENCH MARK |
| | EXISTING STORM MANHOLE | | TEMPORARY BENCH MARK |
| | EXISTING SANITARY MANHOLE | | TEE IRON FOUND |
| EX. EXISTING | EXISTING | | EXISTING GUARD RAIL |
| BFE. BASE FLOOD ELEVATION | | | EXISTING EASEMENT |
| | EXISTING TREE LINE | | PROPOSED EASEMENT |
| | EXISTING OVERHEAD UTILITY | | BENCH MARK |
| | MONUMENT SIGN | | ELEVATION |
| | PYLON SIGN | | MASONRY WALL SIGN |

NOTES:

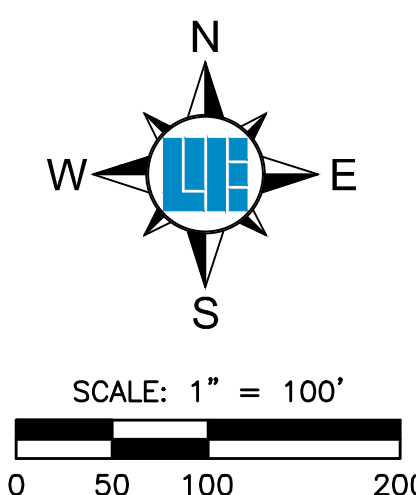
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- THE DESIGN AND CONSTRUCTION SHALL COMPLY WITH ALL ADA REQUIREMENTS.
- BUILDING SETBACK LINES WILL BE ESTABLISHED IN ACCORDANCE WITH GREENWOOD'S ZONING ORDINANCE.

PLANS PREPARED FOR

ADVENIR OAKLEY DEVELOPMENT, LLC
17501 BISCAYNE BLVD., SUITE 300
AVENTURA, FL 33160
TELEPHONE: (305) 450-8233
CONTACT PERSON: SCOTT WEATHERS
EMAIL: SWeathers@adveniroakleycapitol.com

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Landscape Architecture

PROJECT NO.:	W210689
DWG NAME:	
DESIGNED BY:	JRV
DRAWN BY:	JRV
CHECKED BY:	KCS
DATE:	

REVISIONS AND ISSUES
REVISED FOR TECH COMMENTS
12/28/2022



Kevin C. Sumner
KEVIN C. SUMNER L.S. 20400011

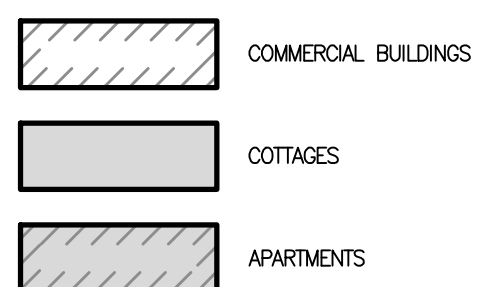
PREPARED FOR:
CENTER GROVE PARK
ADVENIR OAKLEY DEVELOPMENT, LLC
OVERALL SITE PLAN
Section 13, Township 13 North, Range 3 East, White River Township, Johnson County, IN

SHEET NO.
P006
PROJECT NO.
W210689

PLANS PREPARED FOR
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AVENTURA, FL 33160
TELEPHONE: (305) 450-8233
CONTACT PERSON: SCOTT WEATHERS
EMAIL: SWeather@adveniroakleycapitol.com



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TELEPHONE: (317) 846-6611
FAX: (317) 843-0546
CONTACT PERSON: KEVIN SUMNER, P.S.
EMAIL: SUMNERK@WEIHE.NET



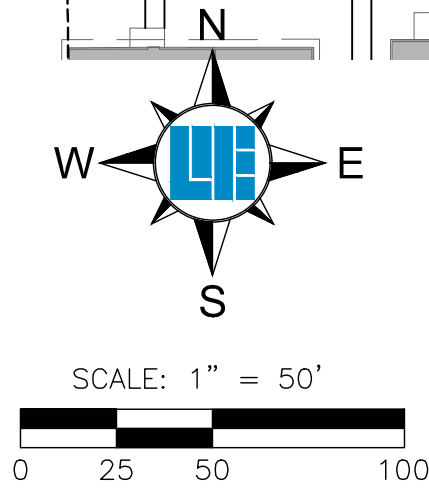
LEGEND

EXISTING FIRE HYDRANT
EXISTING GAS PIPELINE MARKER
EXISTING GAS VALVE
EXISTING UTILITY POLE
EXISTING WATER VALVE
EXISTING STORM INLET
EXISTING STORM MANHOLE
EXISTING SANITARY MANHOLE
EX. EXISTING
BFE BASE FLOOD ELEVATION
EXISTING TREE LINE
EXISTING OVERHEAD UTILITY
EXISTING POST
EXISTING SIGN
EXISTING STREET LIGHT
EXISTING GUY ANCHOR
EXISTING COMMUNICATIONS RISER
BENCH MARK
TEMPORARY BENCH MARK

TEE IRON FOUND
EXISTING GUARD RAIL
EXISTING EASEMENT
BM BENCHMARK
ELEV ELEVATION
21 LOT NUMBER
B.S.L. BUILDING SETBACK LINE (25' TYPICAL)
ADA RAMP
STREET LIGHT
STOP SIGN
STREET SIGN
VAR. VARIABLE
D.&U.E. DRAINAGE & UTILITY EASEMENT
PROPOSED POND
PROPOSED RIGHT OF WAY LINE
PROPOSED EASEMENT
PROPOSED GUARDRAIL
PROPOSED TREELINE
PROPOSED CROSSWALK

NOTES:

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- BUILDING SETBACK LINES WILL BE ESTABLISHED IN ACCORDANCE WITH GREENWOOD'S ZONING ORDINANCE.
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- FOR THE COTTAGES AREA, FIRE HYDRANT SPACING WILL BE PER SINGLE FAMILY SUBDIVISION REQUIREMENTS.
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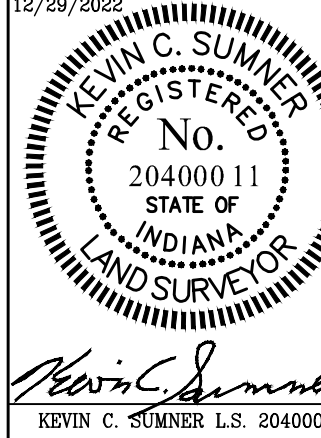
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PROJECT NO.: W210689
DATE: 02/07/2023
BY: BM
DESIGNED BY: JRV
DRAWN BY: JRV
CHECKED BY: KCS
DATE:

REVISIONS AND ISSUES
12/28/2022



PREPARED FOR:
CENTER GROVE PARK
ADVENIR OAKLEY DEVELOPMENT, LLC
SITE PLAN
Section 13, Township 13 North, Range 3 East, White River Township, Johnson County, IN

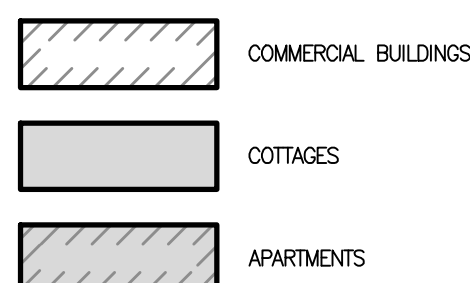
SHEET NO.
P007
PROJECT NO.
W210689

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317 | 843 - 0546 fax
ALLAN H. WEIHE, P.L.L.S. - FOUNDER

PLANS PREPARED FOR
ADVENIR OAKLEY DEVELOPMENT, LLC
17501 BISCAYNE BLVD., SUITE 300
AVENTURA, FL 33160
TELEPHONE: (305) 450-8233
CONTACT PERSON: SCOTT WEATHERS
EMAIL: SWeather@adveniroakleycapitol.com



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TELEPHONE: (317) 846-6611
FAX: (317) 843-0546
CONTACT PERSON: KEVIN SUMNER, P.S.
EMAIL: SUMNERK@WEIHE.NET



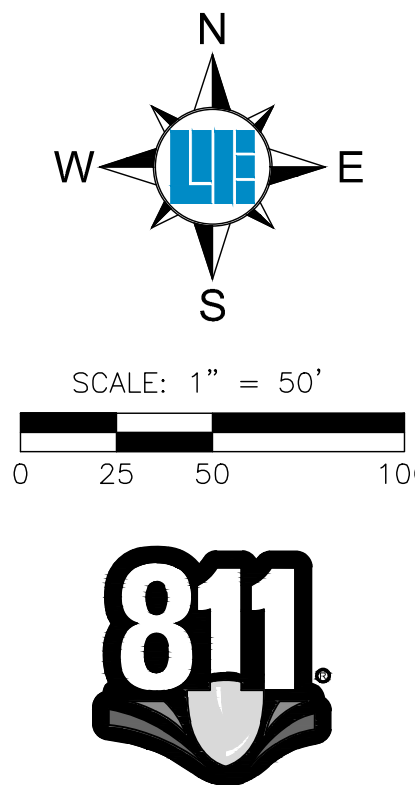
LEGEND

EXISTING FIRE HYDRANT
EXISTING GAS PIPELINE MARKER
EXISTING GAS VALVE
EXISTING UTILITY POLE
EXISTING WATER VALVE
EXISTING STORM INLET
EXISTING STORM MANHOLE
EXISTING SANITARY MANHOLE
EX. EXISTING
BFE BASE FLOOD ELEVATION
EXISTING TREE LINE
EXISTING OVERHEAD UTILITY
EXISTING POST
EXISTING SIGN
EXISTING STREET LIGHT
EXISTING GUY ANCHOR
EXISTING COMMUNICATIONS RISER
BENCH MARK
TEMPORARY BENCHMARK

TEE IRON FOUND
EXISTING GUARD RAIL
EXISTING EASEMENT
BM BENCHMARK
ELEV ELEVATION
21 LOT NUMBER
B.S.L. BUILDING SETBACK LINE (25' TYPICAL)
ADA RAMP
STREET LIGHT
STOP SIGN
STREET SIGN
VAR. VARIABLE
D.&U.E. DRAINAGE & UTILITY EASEMENT
PROPOSED POND
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PREPARED FOR:
CENTER GROVE PARK
ADVENIR OAKLEY DEVELOPMENT, LLC
SITE PLAN
SHEET NO.
P008
PROJECT NO.
W210689

REVISIONS AND ISSUES
DATE BY
12/01/2023 BM
PROJECT NO.: W210689
DWG NAME:
DESIGNED BY:
DRAWN BY: JRV
CHECKED BY: KCS
DATE:
KEVIN C. SUMNER
REGISTERED
No. 204000111
STATE OF INDIANA
LAND SURVEYOR
KEVIN C. SUMNER L.S. 20400011

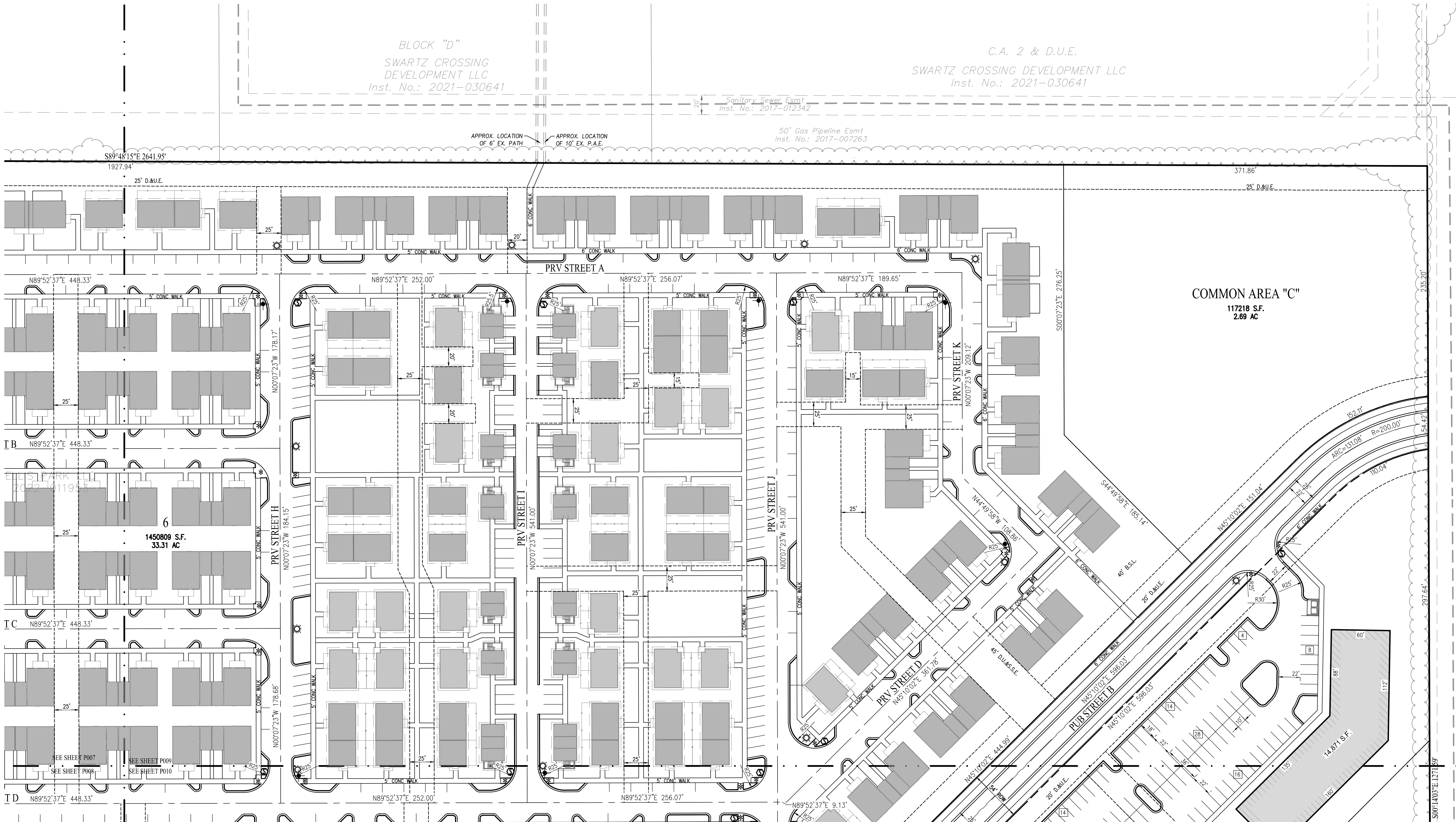
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317 | 843 - 0546 fax
ALLAN H. WEIHE, P.L.L.S. - FOUNDER

LOCATION: I:\2021\W210689\Engineering\preliminary\siteplan\p007 Site Plan.dwg
DATE: 02/01/2023
DRAWN BY: WEIHE
PLOTED BY: WEIHE

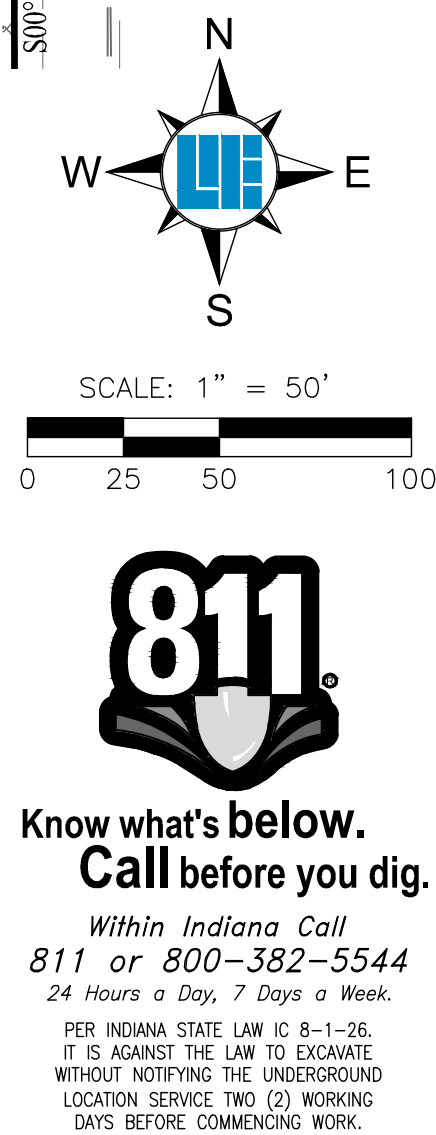
PLANS PREPARED FOR
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AVENTURA, FL 33160
TELEPHONE: (305) 450-8233
CONTACT PERSON: SCOTT WEATHERS
EMAIL: SWeathers@adveniroakleycapitol.com

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TELEPHONE: (317) 846-6611
FAX: (317) 843-0546
CONTACT PERSON: KEVIN SUMNER, P.S.
EMAIL: SUMNERK@WEIHE.NET



LEGEND	
	COMMERCIAL BUILDINGS
	COTTAGES
	APARTMENTS
	EXISTING FIRE HYDRANT
	EXISTING GAS PIPELINE MARKER
	EXISTING GAS VALVE
	EXISTING UTILITY POLE
	EXISTING WATER VALVE
	EXISTING STORM INLET
	EXISTING STORM MANHOLE
	EXISTING SANITARY MANHOLE
	EXISTING
	BASE FLOOD ELEVATION
	EXISTING TREE LINE
	EXISTING OVERHEAD UTILITY
	EXISTING POST
	EXISTING SIGN
	EXISTING STREET LIGHT
	EXISTING GUY ANCHOR
	EXISTING COMMUNICATIONS RISER
	BENCH MARK
	TEMPORARY BENCH MARK
	TEE IRON FOUND
	EXISTING GUARD RAIL
	EXISTING EASEMENT
	BENCH MARK
	ELEVATION
	LOT NUMBER
	B.S.L. BUILDING SETBACK LINE (25' TYPICAL)
	ADA RAMP
	STREET LIGHT
	STOP SIGN
	STREET SIGN
	VAR. VARIABLE
	D.U.E. DRAINAGE & UTILITY EASEMENT
	PROPOSED POND
	PROPOSED RIGHT OF WAY LINE
	PROPOSED EASEMENT
	PROPOSED GUARDRAIL
	PROPOSED TREELINE
	PROPOSED CROSSWALK

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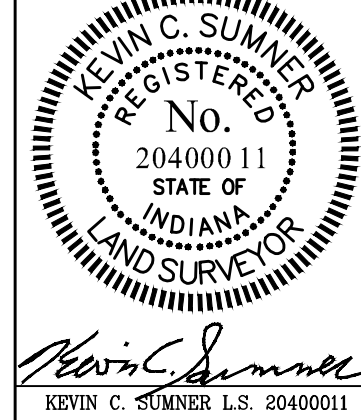
BOWMAN FAMILY INVESTMENT PROPERTY LLC
Inst. No.: 2022-002588

10505 N. College Avenue
Indianapolis, Indiana 46280
weihe.net
317 | 846 - 6611
800 | 452 - 6408
317 | 843 - 0546/ax
ALLAN H. WEIHE, P.L.L.S. - FOUNDER

WEIHE ENGINEERS
Land Surveying | Civil Engineering
Landscape Architecture

PROJECT NO.: W210689
BY: BM
DATE: 02/01/2023
DESIGNED BY: JRV
DRAWN BY: JRV
CHECKED BY: JRV
DATE: KCS

REVISIONS AND ISSUES
REVISED PER TECH COMMENTS
12/28/2022



PREPARED FOR:
CENTER GROVE PARK
ADVENIR OAKLEY DEVELOPMENT, LLC
SITE PLAN
Section 13, Township 13 North, Range 3 East, White River Township, Johnson County, IN

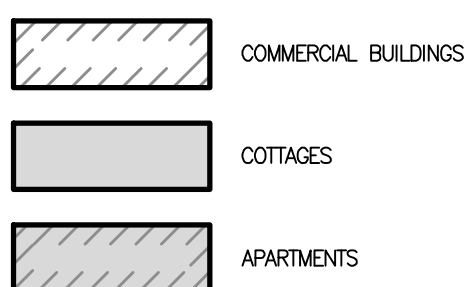
SHEET NO.
P009
PROJECT NO.
W210689

LOCATION: H:\2021\W210689\Engineering\preliminary\preliminary plan\W210689 Site Plan.dwg
DATE/TIME: February 07, 2023 - 2:46pm
PLOTTER: B1: weih

PLANS PREPARED FOR
ADVENIR OAKLEY DEVELOPMENT, LLC
17501 BISCAYNE BLVD., SUITE 300
AVENTURA, FL 33160
TELEPHONE: (305) 450-8233
CONTACT PERSON: SCOTT WEATHERS
EMAIL: SWeathers@adveniroakleycapitol.com



PLANS PREPARED BY
WEIHE ENGINEERS, INC.
10505 N. COLLEGE AVE.
INDIANAPOLIS, INDIANA 46280
TELEPHONE: (317) 846-6611
FAX: (317) 843-0546
CONTACT PERSON: KEVIN SUMNER, P.S.
EMAIL: SUMNERK@WEIHE.NET



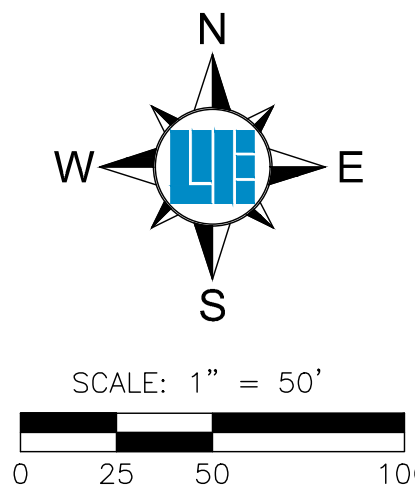
LEGEND

EXISTING FIRE HYDRANT
EXISTING GAS PIPELINE MARKER
EXISTING GAS VALVE
EXISTING UTILITY POLE
EXISTING WATER VALVE
EXISTING STORM INLET
EXISTING STORM MANHOLE
EXISTING SANITARY MANHOLE
EX. EXISTING
BFE BASE FLOOD ELEVATION
EXISTING TREE LINE
EXISTING OVERHEAD UTILITY
EXISTING POST
EXISTING SIGN
EXISTING STREET LIGHT
EXISTING GUY ANCHOR
EXISTING COMMUNICATIONS RISER
BENCH MARK
TEMPORARY BENCH MARK

TEE IRON FOUND
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EXISTING EASEMENT
BM BENCHMARK
ELEV ELEVATION
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**WEIHE
ENGINEERS**
Land Surveying | Civil Engineering
Landscape Architecture

PROJECT NO.	W210689
DWG NAME:	
DESIGNED BY:	JRV
DRAWN BY:	JRV
CHECKED BY:	KCS
DATE:	

DATE:	02/07/2023
BY:	BM

REVISIONS AND ISSUES
REVISED PER TECH COMMENTS
12/28/2022






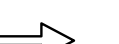










































KEVIN C. SUMNER L.S. 20400011

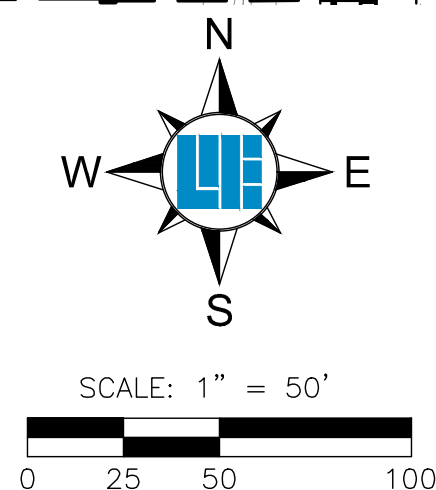
PREPARED FOR:
CENTER GROVE PARK
ADVENIR OAKLEY DEVELOPMENT, LLC
SITE PLAN
Section 13, Township 13 North, Range 3 East, White River Township, Johnson County, IN

SHEET NO.
P010
PROJECT NO.
W210689



- | | | | | | |
|---|-------------------------------|---|----------------------------|---|--|
|  | EXISTING FIRE HYDRANT |  | BENCH-MARK |  | PROPOSED YARD INLET, CURB INLET, MANHOLE |
|  | EXISTING GAS PIPELINE MARKER |  | ELEV |  | EMERGENCY FLOOD ROUTE |
|  | EXISTING GAS VALVE |  | 21 |  | SEWER FLOW ROUTE |
|  | EXISTING UTILITY POLE |  | B.S.L. |  | PROPOSED GUARD RAIL |
|  | EXISTING WATER VALVE |  | ADA RAMP |  | PROPOSED DRAINAGE PATTERN |
|  | EXISTING STORM INLET |  | STREET LIGHT |  | PROPOSED SWALE |
|  | EXISTING STORM MANHOLE |  | STOP SIGN | | |
|  | EXISTING SANITARY MANHOLE |  | STREET SIGN | | |
|  | EX. |  | VAR. | | |
|  | BFE |  | D.&U.E. | | |
|  | EXISTING TREE LINE |  | PROPOSED POND | | |
|  | EXISTING OVERHEAD UTILITY |  | PROPOSED RIGHT OF WAY LINE | | |
|  | EXISTING POST |  | PROPOSED EASEMENT | | |
|  | EXISTING SIGN |  | PROPOSED STORM | | |
|  | EXISTING STREET LIGHT |  | PROPOSED SANITARY | | |
|  | EXISTING GUY ANCHOR |  | PROPOSED WATER LINE | | |
|  | EXISTING COMMUNICATIONS RISER |  | PROPOSED WATER FITTINGS | | |
|  | BENCH MARK |  | PROPOSED FIRE HYDRANT | | |
|  | TEMPORARY BENCHMARK |  | PROPOSED SANITARY MANHOLE | | |
|  | TEE IRON FOUND | | | | |
|  | EXISTING GUARD RAIL | | | | |

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PLANS PREPARED FOR
ADVENIR OAKLEY DEVELOPMENT, LLC
17501 BISCAYNE BLVD., SUITE 300
AVENTURA, FL 33160
TELEPHONE: (305) 450-8233
CONTACT PERSON: SCOTT WEATHERS
EMAIL: SWeathers@adveniroakleycapital.com



PLANS PREPARED BY
WEIHE ENGINEERS, INC.
 10505 N. COLLEGE AVE.
 INDIANAPOLIS, INDIANA 46280
 TELEPHONE: (317) 846-6611
 FAX: (317) 843-0546
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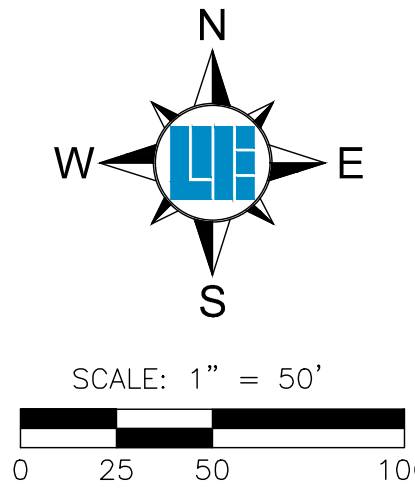


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LEGEND	
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	EXISTING GAS PIPELINE MARKER
	EXISTING GAS VALVE
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	EXISTING WATER VALVE
	EXISTING STORM INLET
	EXISTING STORM MANHOLE
	EXISTING SANITARY MANHOLE
EX.	EXISTING
BFE	BASE FLOOD ELEVATION
	EXISTING TREE LINE
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	EXISTING POST
	EXISTING SIGN
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	EXISTING COMMUNICATIONS RISER
	BENCH MARK
	TEMPORARY BENCH MARK
	TEE IRON FOUND
	EXISTING GUARD RAIL
	EXISTING EASEMENT
BM	BENCHMARK
ELEV	ELEVATION
21	LOT NUMBER
B.S.L.	BUILDING SETBACK LINE (25' TYPICAL)
	ADA RAMP
	STREET LIGHT
	STOP SIGN
	STREET SIGN
VAR.	VARIABLE
	DRAINAGE & UTILITY EASEMENT
	PROPOSED POND
	PROPOSED RIGHT OF WAY LINE
	PROPOSED EASEMENT
	PROPOSED STORM
	PROPOSED SANITARY
	PROPOSED WATER LINE
	PROPOSED WATER FITTINGS
	PROPOSED FIRE HYDRANT
	PROPOSED SANITARY MANHOLE
	PROPOSED YARD INLET, CURB INLET, MANHOLE
	EMERGENCY FLOOD ROUTE
	SEWER FLOW ROUTE
	PROPOSED GUARD RAIL
	PROPOSED DRAINAGE PATTERN
	PROPOSED SWALE

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PREPARED FOR:
CENTER GROVE PARK
ADVENIR OAKLEY DEVELOPMENT, LLC
UTILITY PLAN
Section 13, Township 13 North, Range 3 East, White River Township, Johnson County, IN

SHEET NO.
P012
PROJECT NO.
W210689

PROJECT NO.: W210689
BY: BM
DATE: 02/07/2023
REVISIONS AND ISSUES
REVISED PER TECH COMMENTS

REVISIONS AND ISSUES
REVISED PER TECH COMMENTS

KEVIN C. SUMNER
REGISTERED
No. 20400011
STATE OF INDIANA
LAND SURVEYOR
Kevin C. Sumner
KEVIN C. SUMNER L.S. 20400011

WEIHE ENGINEERS
Land Surveying/Civil Engineering
Landscape Architecture

10505 N. College Avenue
Indianapolis, Indiana 46280
weihe.net
317 | 846 - 6611
800 | 452 - 6408
317 | 843 - 0546 fax
ALLAN H. WEIHE, P.L.L.S. - FOUNDER

LOCATION: I:\2021\W210689\Engineering\preliminary\utility\plan\W210689_P013.dwg
DATE/TIME: February 07, 2023 - 2:56pm
PLOTED BY: weih

PLANS PREPARED FOR
ADVENIR OAKLEY DEVELOPMENT, LLC
17501 BISCAYNE BLVD., SUITE 300
AVENTURA, FL 33160
TELEPHONE: (305) 450-8233
CONTACT PERSON: SCOTT WEATHERS
EMAIL: SWeather@adveniroakleycapitol.com

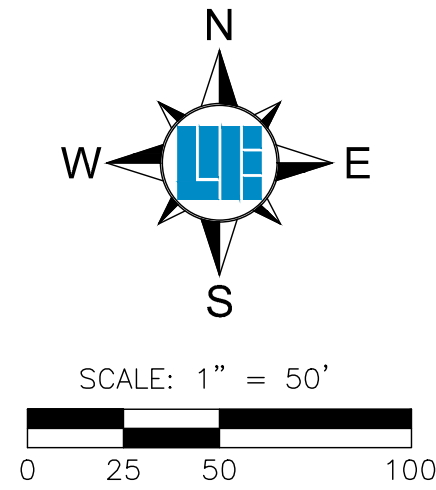


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CONTACT PERSON: KEVIN SUMNER, P.S.
EMAIL: SUMNERK@WEIHE.NET

LEGEND	
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	EXISTING GAS PIPELINE MARKER
	EXISTING GAS VALVE
	EXISTING UTILITY POLE
	EXISTING WATER VALVE
	EXISTING STORM INLET
	EXISTING STORM MANHOLE
	EXISTING SANITARY MANHOLE
EX.	EXISTING
BFE	BASE FLOOD ELEVATION
	EXISTING TREE LINE
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	EXISTING GUY ANCHOR
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BM	BENCHMARK
ELEV	ELEVATION
21	LOT NUMBER
B.S.L.	BUILDING SETBACK LINE (25' TYPICAL)
	ADA RAMP
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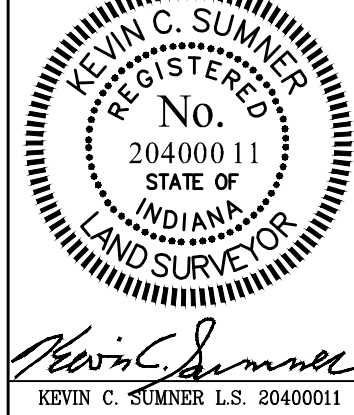
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ENGINEERS
Land Surveying | Civil Engineering
Landscape Architecture

PROJECT NO.:	W210689
DWG NAME:	
DESIGNED BY:	JRV
DRAWN BY:	JRV
CHECKED BY:	KCS
DATE:	

DATE:	02/07/2023
BY:	BM

REVISIONS AND ISSUES	DATE	BY
REVISED PER TECH COMMENTS	12/28/2022	



KEVIN C. SUMNER L.S. 20400011

PREPARED FOR:
CENTER GROVE PARK
ADVENIR OAKLEY DEVELOPMENT, LLC
UTILITY PLAN
Section 13, Township 13 North, Range 3 East, White River Township, Adams County, IN

SHEET NO.
P013
PROJECT NO.
W210689

LOCATION: H:\2021\W210689\Engineering\Utility\Utility plan\W21011 Utility Plan.dwg
DATE/TIME: January 02, 2023 - 1:54pm
PLOTTER BY: weihe

PLANS PREPARED FOR
ADVENIR OAKLEY DEVELOPMENT, LLC
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AVENTURA, FL 33160
TELEPHONE: (305) 450-8233
CONTACT PERSON: SCOTT WEATHERS
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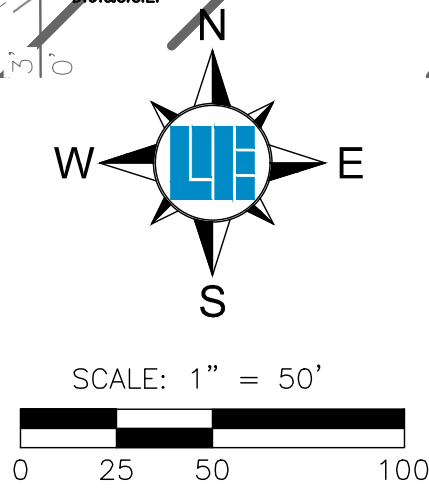


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Kevin C. Sumner
KEVIN C. SUMNER L.S. 20400011

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CENTER GROVE PARK
ADVENIR OAKLEY DEVELOPMENT, LLC
UTILITY PLAN
Section 13, Township 13 North, Range 3 East, White River Township, Adams County, IN

SHEET NO.
P014
PROJECT NO.
W210689