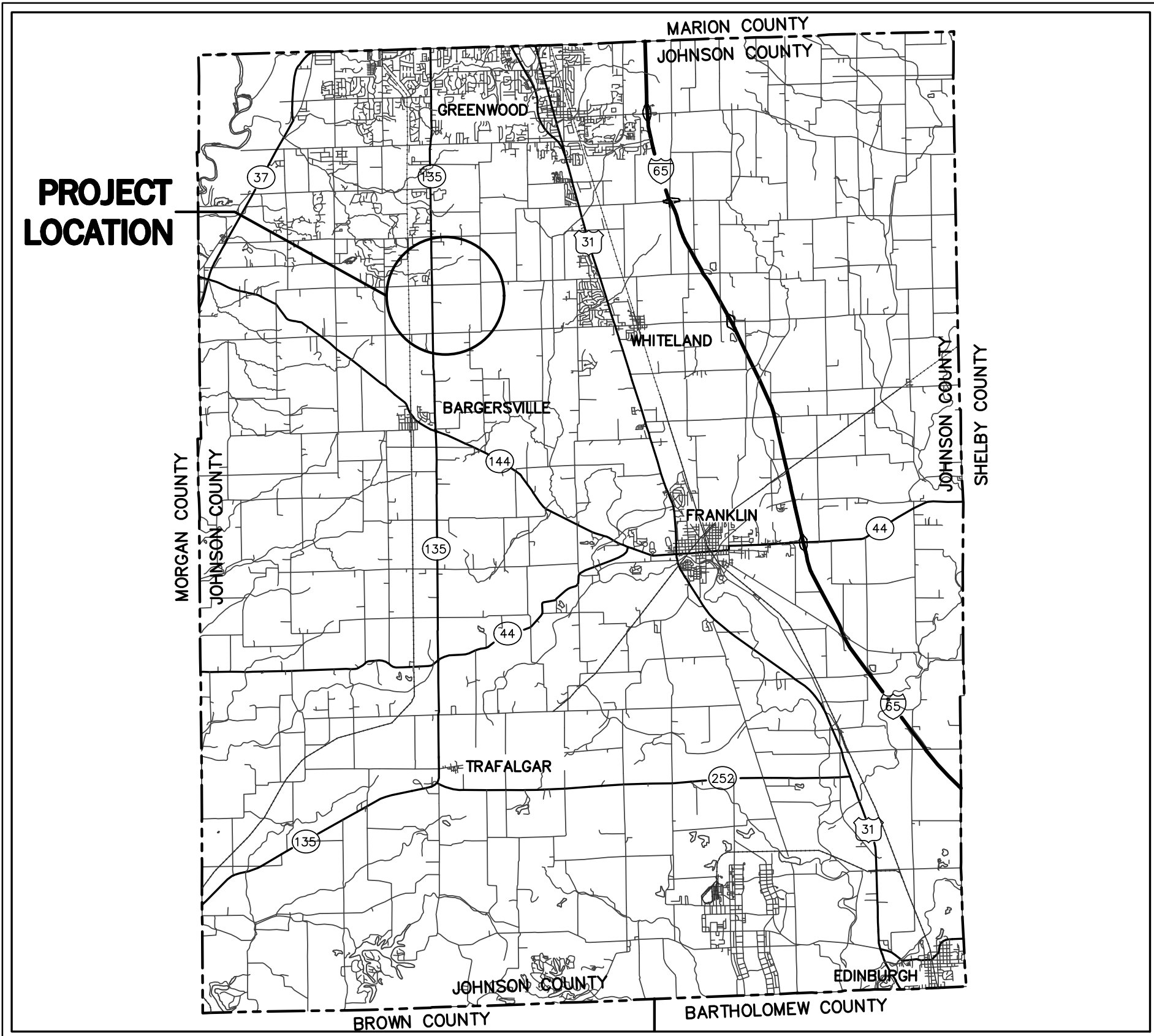
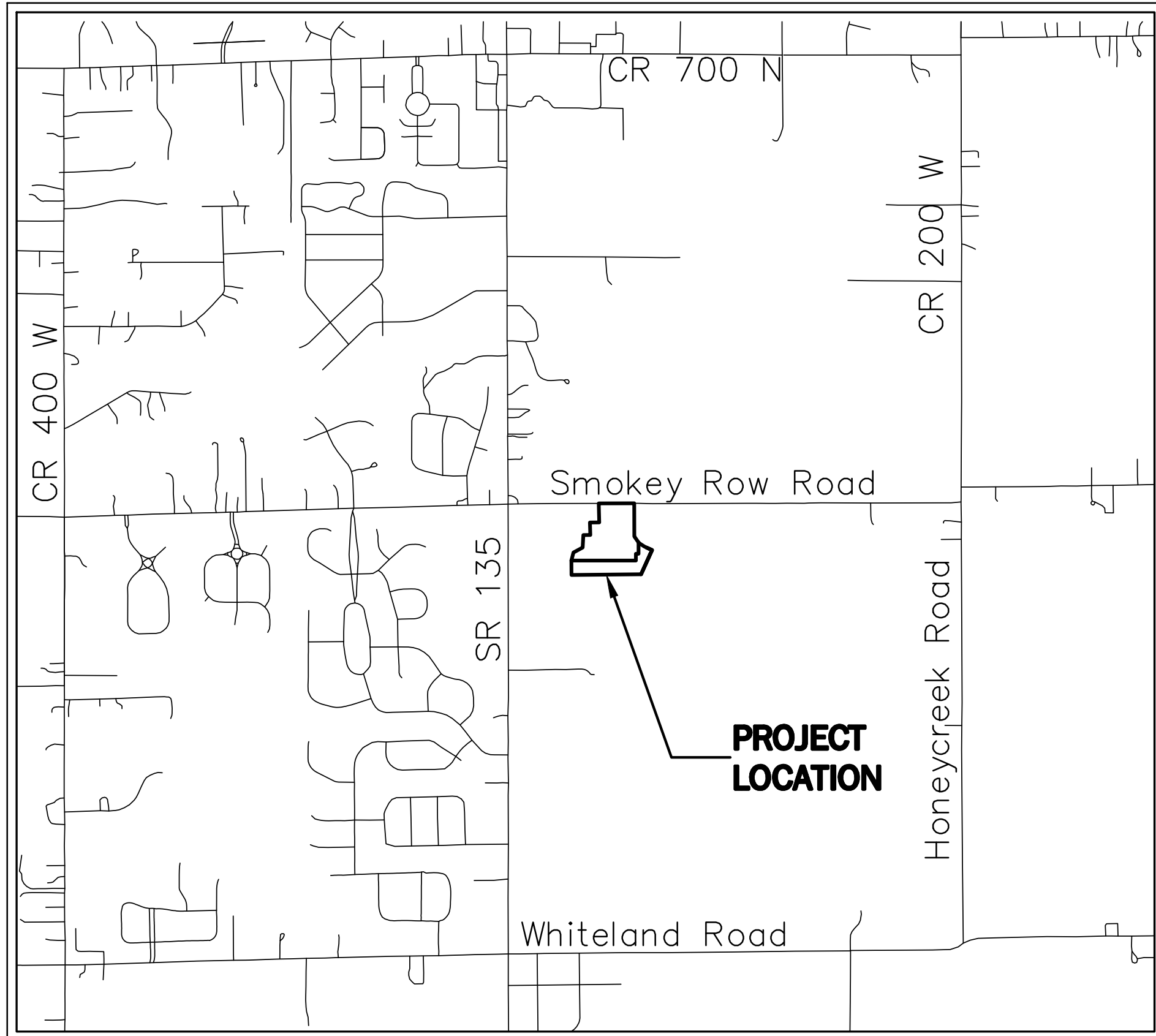


PRIMARY PLAT
FOR
REDWOOD APARTMENT NEIGHBORHOOD
AT GREENWOOD PHASE I & PHASE II
SMOKEY ROW ROAD
GREENWOOD, IN 46143



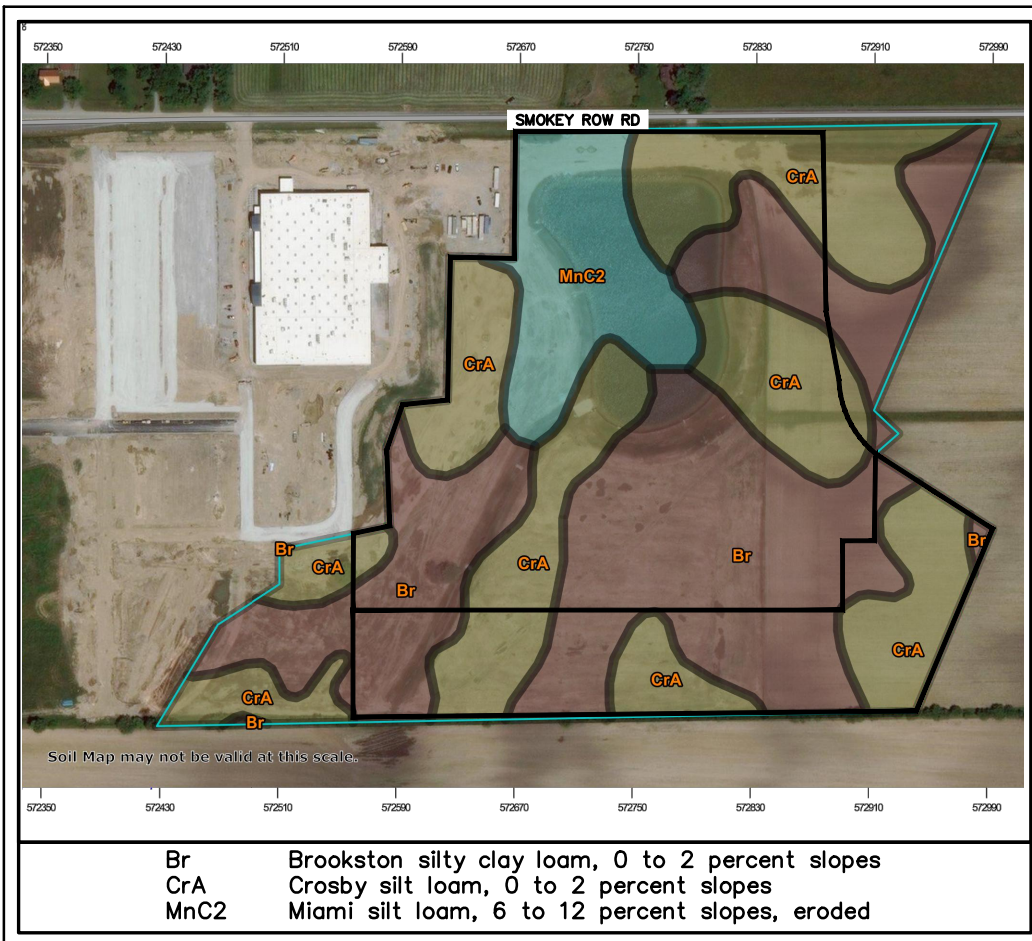
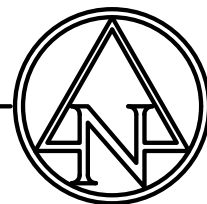
LOCATION MAP

NOT TO SCALE



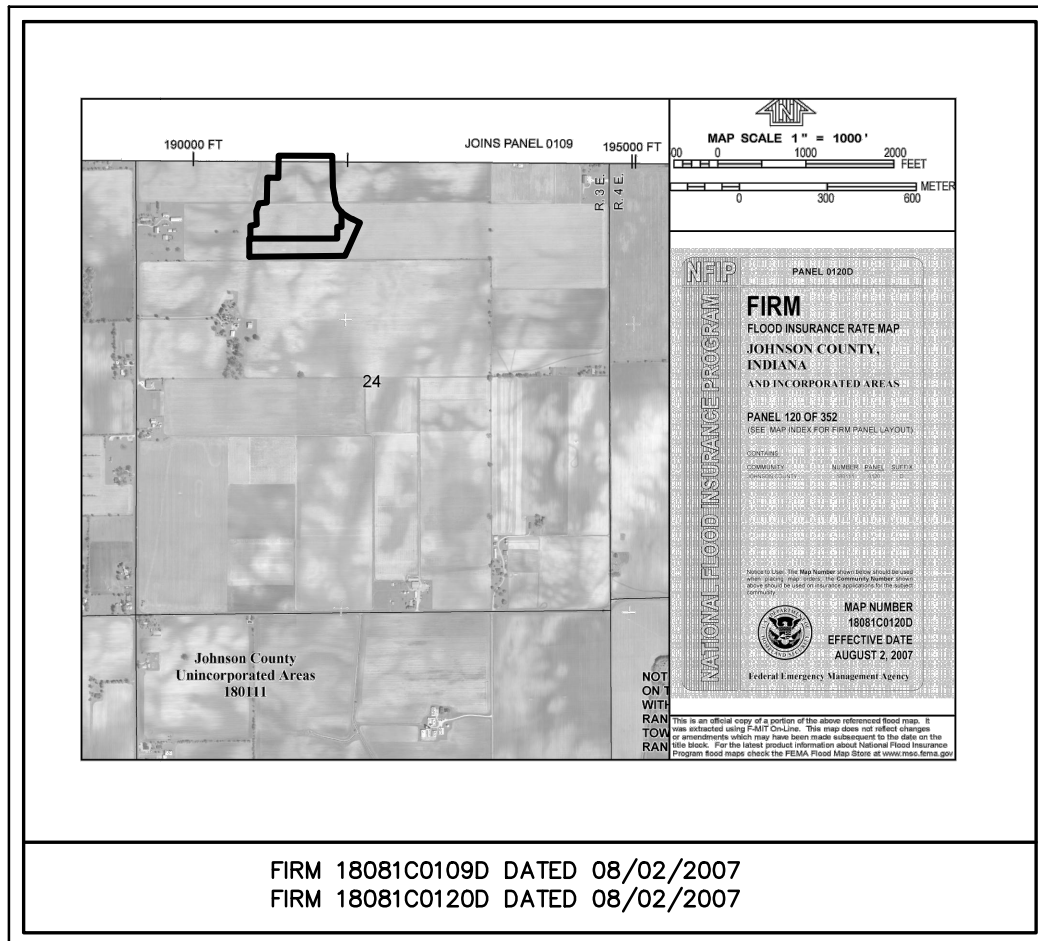
VICINITY MAP

NOT TO SCALE



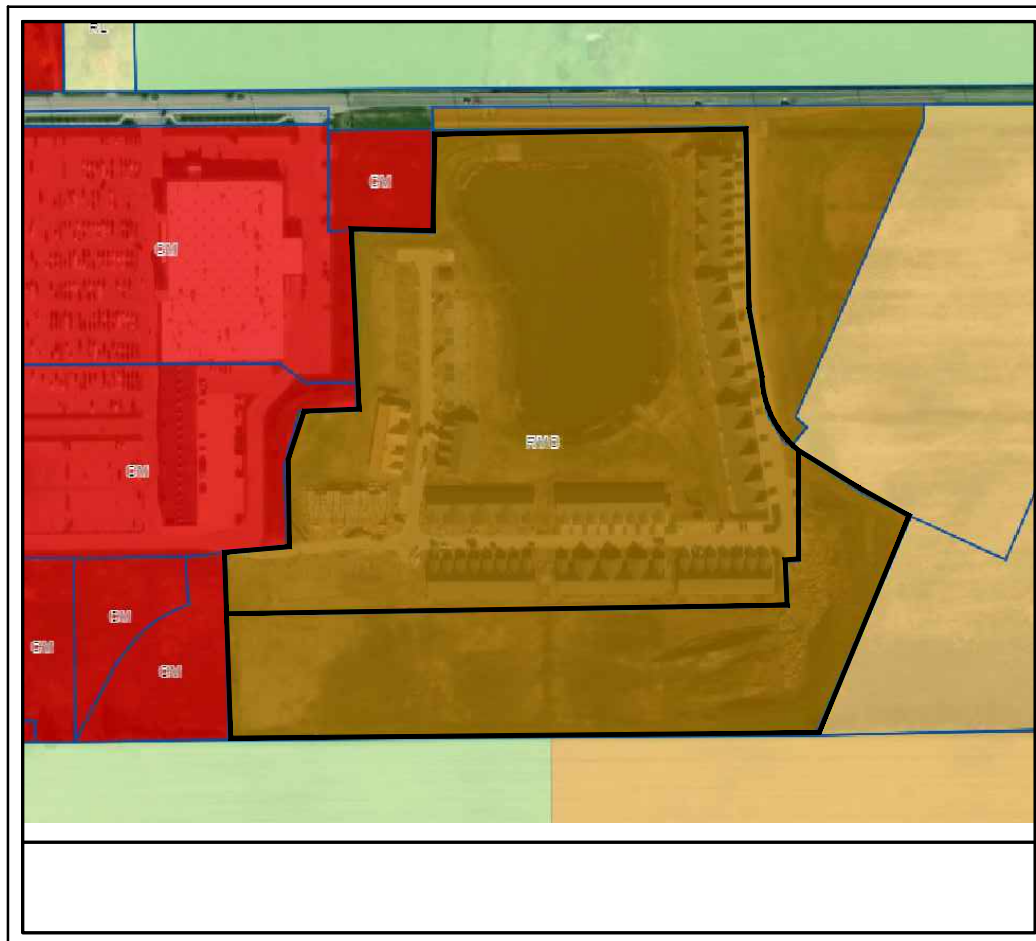
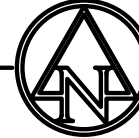
SOILS MAP

NOT TO SCALE



FEMA MAP

NOT TO SCALE



ZONING MAP

NOT TO SCALE



INDEX	
DESCRIPTION	SHEET NO.
TITLE SHEET	C001
OVERALL EXISTING TOPOGRAPHY	C100
EXISTING TOPOGRAPHY	C101-C104
OVERALL PRIMARY PLAT	C200
PRIMARY PLAT	C201-C204
PRIMARY PLAT EASEMENTS	C205
DEVELOPMENT PLAN	C301-C304
SITE DETAILS	C400

LEGAL DESCRIPTION

Phase I Parcel

Part of the Northwest Quarter of Section 24, Township 13 North, Range 3 East of the Second Principal Meridian in Johnson County, Indiana, more particularly described as follows:

Commencing at the northwest corner of said Northwest Quarter, thence North 89 degrees 36 minutes 03 seconds East 1,325.50 feet along the north line of said Northwest Quarter (basis of bearings is the Indiana Geopatial Coordinate System, Johnson Zone) to the northwest corner of Parcel III as described in Instrument Number 2015-020354, on file in the Office of the Recorder of Johnson County, Indiana; 1) thence South 00 degrees 18 minutes 57 seconds West 60.00 feet along the west line of said Parcel III to a line that is 60.00 feet south of and parallel with said north line and the POINT OF BEGINNING; thence North 89 degrees 36 minutes 03 seconds East 662.11 feet along said parallel line; thence South 00 degrees 23 minutes 57 seconds East 374.31 feet; thence South 09 degrees 55 minutes 21 seconds East 233.03 feet; thence South 29 degrees 45 minutes 42 seconds East 81.86 feet; thence Southeast 22.35 feet along a non-tangent curve to the left having a radius of 625.00 feet and subtended by a long chord having a bearing of South 49 degrees 53 minutes 59 seconds East and a length of 22.35 feet; thence South 00 degrees 23 minutes 57 seconds East 220.22 feet; thence South 89 degrees 36 minutes 03 seconds West 26.00 feet; thence South 00 degrees 23 minutes 57 seconds East 95.71 feet; thence South 89 degrees 36 minutes 03 seconds West 1173.65 feet; thence North 00 degrees 23 minutes 57 seconds West 124.08 feet to a north line of said Parcel III, the following three (3) courses are along the north and west lines of said Parcel III; 1) thence North 79 degrees 40 minutes 04 seconds East 134.06 feet; 2) thence North 00 degrees 27 minutes 57 seconds West 168.00 feet; 3) thence North 14 degrees 31 minutes 53 seconds East 115.99 feet to the southwest corner of the Exception to Parcel III as described in said Instrument Number 2015-020354, the following two (2) courses are along the south and east lines thereof; 1) thence North 89 degrees 32 minutes 03 seconds East 116.00 feet; 2) thence North 00 degrees 27 minutes 57 seconds West 374.08 feet to a north line of said Parcel III, the following two (2) courses are along the north and west lines thereof; 1) thence North 89 degrees 34 minutes 22 seconds East 162.00 feet; 2) thence North 00 degrees 18 minutes 57 seconds East 204.36 feet to the POINT OF BEGINNING. Containing 20.984 acres, more or less.

Phase 2 Parcel

Part of the Northwest Quarter of Section 24, Township 13 North, Range 3 East of the Second Principal Meridian in Johnson County, Indiana, more particularly described as follows:

Commencing at the northwest corner of said Northwest Quarter, thence North 89 degrees 36 minutes 03 seconds East 1,325.50 feet along the north line of said Northwest Quarter (basis of bearings is the Indiana Geopatial Coordinate System, Johnson Zone) to the northwest corner of Parcel III as described in Instrument Number 2015-020354, on file in the Office of the Recorder of Johnson County, Indiana; thence South 00 degrees 18 minutes 57 seconds West 60.00 feet along the west line of said Parcel III to a line that is 60.00 feet south of and parallel with said north line; thence North 89 degrees 36 minutes 03 seconds East 662.11 feet along said parallel line; thence South 00 degrees 23 minutes 57 seconds East 374.31 feet; thence South 09 degrees 55 minutes 21 seconds East 233.03 feet; thence South 29 degrees 45 minutes 42 seconds East 81.86 feet; thence Southeast 22.35 feet along a non-tangent curve to the left having a radius of 625.00 feet and subtended by a long chord having a bearing of South 49 degrees 53 minutes 59 seconds East and a length of 22.35 feet to the POINT OF BEGINNING; thence Southeast 161.66 feet along a non-tangent curve to the left having a radius of 625.00 feet and subtended by a long chord having a bearing of South 58 degrees 20 minutes 03 seconds East and a length of 161.21 feet; thence South 65 degrees 44 minutes 40 seconds East 109.09 feet; thence South 24 degrees 15 minutes 20 seconds West 499.06 feet to the south line of said parcel III; thence South 89 degrees 28 minutes 43 seconds West 1227.23 feet along said south line; thence North 00 degrees 23 minutes 57 seconds West 271.35 feet; thence North 89 degrees 36 minutes 03 seconds East 1173.65 feet; thence North 00 degrees 23 minutes 57 seconds West 95.71 feet; thence North 89 degrees 36 minutes 03 seconds East 26.00 feet; thence North 00 degrees 23 minutes 57 seconds West 220.22 feet to the POINT OF BEGINNING. Containing 9.182 acres, more or less.

SITE DATA TABLE

CURRENT ZONING:	RMC
PROPOSED ZONING:	RMC
TOTAL AREA:	±30.17 AC
POND NORMAL POOL AREA:	±4.10 AC
UNITS:	175
PROJECT UNIT DENSITY:	5.8 UNITS/ACRE
PHASE I UNITS:	100
PHASE I AREA:	±20.99 AC
PHASE II UNITS:	75
PHASE II AREA:	±9.18 AC
PHASE I PARKING	
STANDARD PARKING (10'x20'):	23
ADA PARKING PROVIDED:	4
(INCLUDES 4 VAN ACCESSIBLE)	
DRIVEWAY PARKING:	200
TOTAL PROPOSED PARKING:	227
TOTAL REQUIRED PARKING:	175
(1.75 SPACES PER UNIT)	
PHASE II PARKING	
STANDARD PARKING (10'x20'):	26
ADA PARKING PROVIDED:	0
DRIVEWAY PARKING:	150
TOTAL PROPOSED PARKING:	176
TOTAL REQUIRED PARKING:	132
(1.75 SPACES PER UNIT)	

UTILITY CONTACTS

UTILITY	COMPANY	CONTACT	PHONE NO.
SANITARY SEWER	GREENWOOD SANITATION DEPT	KEITH MEIER	(317) 888-1254
WATER	BARGERSVILLE WATER	KEVIN KILLINGER	(317) 422-3121
STORM SEWER	GREENWOOD STORMWATER	CHRIS JONES	(317) 887-4711
GAS	VECTREN	DAVID SHERRY	(317) 776-5585
ELECTRIC	DUKE ENERGY	TAYLOR AUSTIN	(317) 736-2017

DEVELOPMENT STANDARDS

DESCRIPTION	SHEET NO.
TITLE SHEET	C001
OVERALL EXISTING TOPOGRAPHY	C100
EXISTING TOPOGRAPHY	C101-C104
OVERALL PRIMARY PLAT	C200
PRIMARY PLAT	C201-C204
PRIMARY PLAT EASEMENTS	C205
DEVELOPMENT PLAN	C301-C304
SITE DETAILS	C400

DEVELOPMENT STANDARDS

(CURRENT 2022 ZONING ORDINANCE)

ZONING	RMC
SETBACK STANDARDS	
FRONT	20'
SIDE	20' FOR EACH SIDE YARD
REAR	20'

NOTE:
BUILDING SETBACK LINES ARE TO BE ESTABLISHED IN ACCORDANCE WITH THE MOST CURRENT GREENWOOD ZONING ORDINANCE.

PHASE I UNIT TABLE

UNIT TYPE	UNIT NUMBER
FORESTWOOD	39
MEADOWOOD	12
MEADOWOOD SUNROOM	2
WILLOWOOD	6
HAYDENWOOD	8
BREEZEWOOD	32
BREEZEWOOD SUNROOM	1
TOTAL	100

PHASE II UNIT TABLE

UNIT TYPE	UNIT NUMBER
FORESTWOOD	28
MEADOWOOD	8
CAPEWOOD	2
BREEZEWOOD	36
BREEZEWOOD SUNROOM	1
TOTAL	75

BENCHMARK DATA

(1988 DATUM)
OPUS BENCH FILE:
REBAR SET BASE#300
ELEV = 793.85

ASI TBM 30
ASI TBM 31

ASI TBM 32
MAG SPIKE SET IN UTILITY POLE #JHJ2361;
±60' SOUTH OF E. CR 600 AND ±100' WEST
OF DRIVE TO RES #1482.
ELEV = 794.06

ASI TBM 33
MAG SPIKE SET IN SOUTH FACE UTILITY POLE;
±15' SOUTH OF E. CR 600 AND ±150' EAST OF DRIVE TO RES. #3011.
ELEV = 795.81

ASI TBM 34
MAG SPIKE SET IN EAST FACE UTILITY POLE
#09063; ±15' WEST OF E. CR 200 AND ±100' SOUTH OF DRIVE TO POLE BARN;
RES. #5980.
ELEV = 794.64

GENERAL NOTES:

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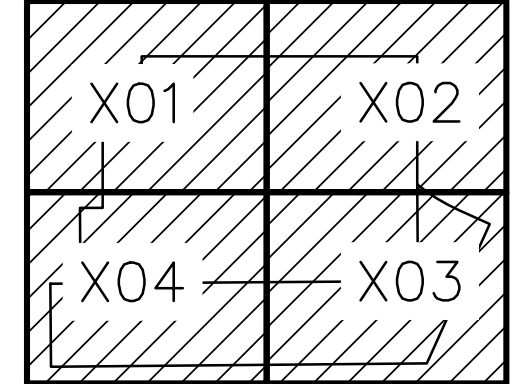
CAUTION

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CALL TOLL FREE
811 OR 1-800-382-5544
- INDIANA UNDERGROUND -

REDWOOD APARTMENT NEIGHBORHOOD AT GREENWOOD

SMOKEY ROW ROAD
GREENWOOD, IN 46143



Joshua H. Chibrel
CERTIFIED BY

ISSUANCE INDEX

DATE:	03/17/2022
PROJECT PHASE:	PRIMARY PLAT

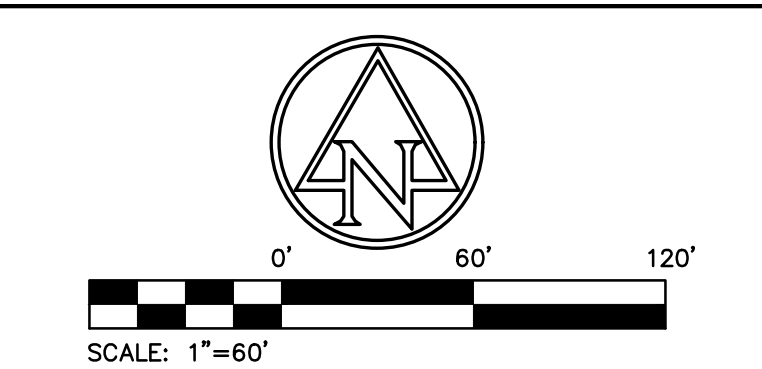
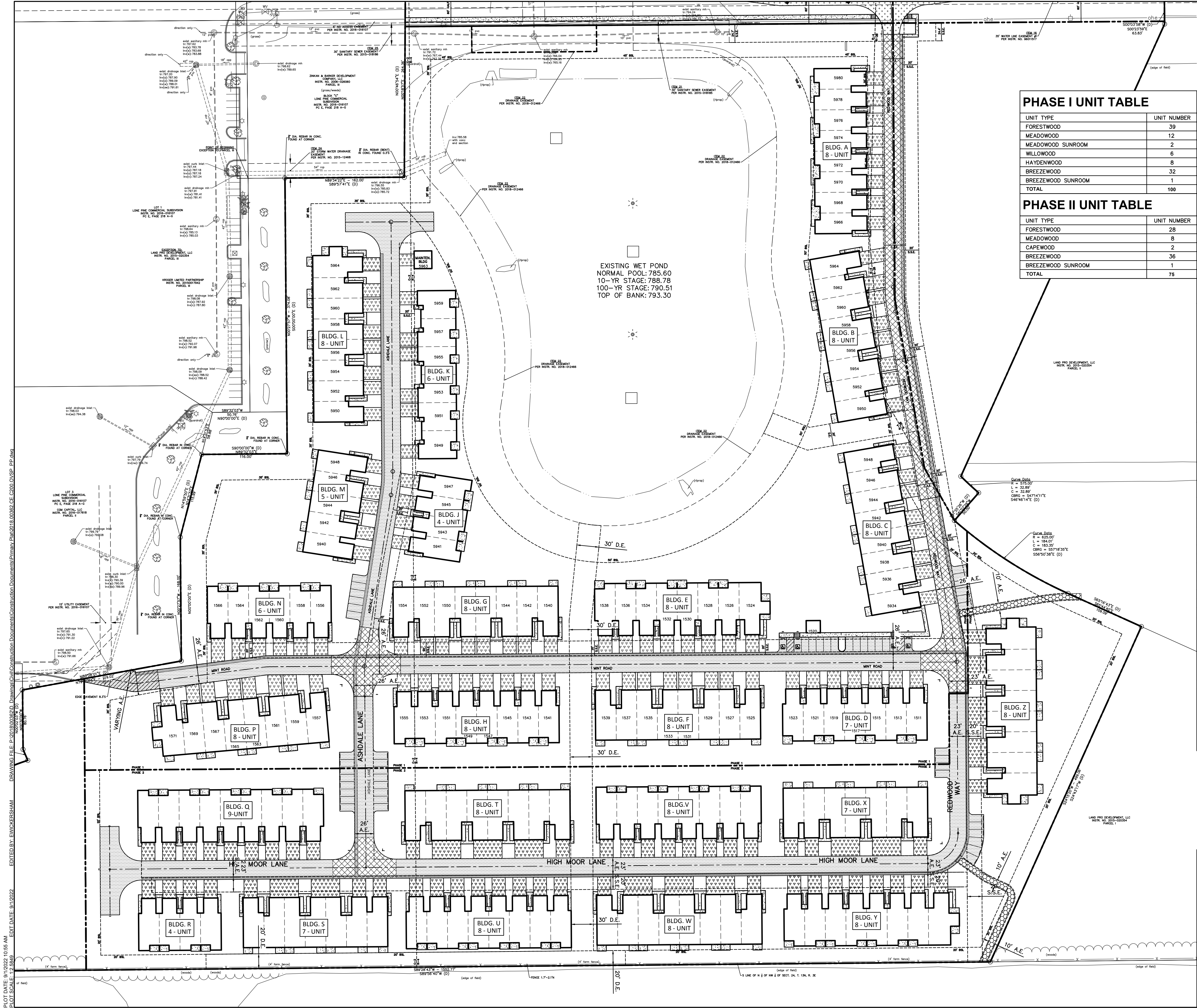
REVISION SCHEDULE

NO.	DESCRIPTION	DATE
01	EASEMENT UPDATE	07/07/2022
02	CITY COMMENT	08/03/2022
03	TECH COMMENT	09/01/2022

Project Number 2018.00362

TITLE SHEET

C001



PHASE I UNIT TABLE	
UNIT TYPE	UNIT NUMBER
FORESTWOOD	39
MEADOWOOD	12
MEADOWOOD SUNROOM	2
WILLOWOOD	6
HAYDENWOOD	8
BREEZEWOOD	32
BREEZEWOOD SUNROOM	1
TOTAL	100

PHASE II UNIT TABLE	
UNIT TYPE	UNIT NUMBER
FORESTWOOD	28
MEADOWOOD	8
CAPEWOOD	2
BREEZEWOOD	36
BREEZEWOOD SUNROOM	1
TOTAL	75

EXISTING LEGEND	
	BUSH
	CLEAN OUT
	COMBINATION POLE
	DRAINAGE MANHOLE
	ELECTRIC HANDHOLE
	FIRE HYDRANT
	FIRE PLUG
	FIRE VALVE
	GAS METER
	GAS MARKER SIGN
	GUY WIRE
	INLET
	LID
	LIGHT POLE
	MAILBOX
	PINE
	POST
	POWER POLE
	SIGN
	SANITARY MANHOLE
	STAND PIPE
	TEMPORARY BENCH MARK
	TELEPHONE HANDHOLE
	TELEPHONE MARKER SIGN
	TELEPHONE POLE
	TELEPHONE PEDESTAL TRANSFORMER
	TREE
	WATER METER
	WATER MARKER SIGN
	WATER VALVE
	YARD LIGHT
	BURIED ELECTRIC LINE
	OVERHEAD ELECTRIC LINE
	OVERHEAD TELEPHONE LINE
	TOP OF RIM ELEVATION
	INVERT ELEVATION
	CORRUGATED METAL PIPE
	CORRUGATED PLASTIC PIPE
	PLASTIC PIPE
	REINFORCED CONCRETE PIPE
	5/8" DIA. REBAR W/CAP
	STAMPED "STRUCTURE POINT"
	0094" SET FLUSH
	UNLESS OTHERWISE NOTED

SITE LEGEND	
	TYPICAL CONCRETE PAVEMENT SECTION
	INTERSECTION CONCRETE PAVEMENT SECTION
	CONCRETE SIDEWALK SECTION
	DRIVEWAY SECTION
	ASPHALT TRAIL SECTION

PROPOSED LEGEND	
	BUILDING SETBACK LINE
	EASEMENT
	BUILDING SETBACK LINE
	ACCESS EASEMENT
	CROSS ACCESS EASEMENT
	SANITARY SEWER EASEMENT
	SIGN

SITE DATA TABLE	
CURRENT ZONING:	RMC
PROPOSED ZONING:	RMC
TOTAL AREA:	±30.17 AC
POND NORMAL POOL AREA:	±4.10 AC
UNITS:	175
PROJECT UNIT DENSITY:	5.8 UNITS/ACRE
PHASE I UNITS:	100
PHASE I AREA:	±20.99 AC
PHASE II UNITS:	75
PHASE II AREA:	±9.18 AC
PHASE I PARKING	
STANDARD PARKING (10'x20'):	23
ADA PARKING PROVIDED: (INCLUDES 4 VAN ACCESSIBLE)	4
DRIVEWAY PARKING:	200
TOTAL PROPOSED PARKING:	227
TOTAL REQUIRED PARKING: (1.75 SPACES PER UNIT)	175
PHASE II PARKING	
STANDARD PARKING (10'x20'):	26
ADA PARKING PROVIDED:	0
DRIVEWAY PARKING:	150
TOTAL PROPOSED PARKING:	176
TOTAL REQUIRED PARKING: (1.75 SPACES PER UNIT)	132

- GENERAL NOTES:
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CALL TOLL FREE
"811" OR 1-800-382-5544
- INDIANA UNDERGROUND -

REDWOOD USA, LLC
7007 E. PLEASANT VALLEY ROAD
INDEPENDENCE, OHIO

9025 River Road, Suite 200 | Indianapolis, Indiana 46240
TEL 317.547.5580 | FAX 317.543.0270
www.structurepoint.com

REDWOOD APARTMENT NEIGHBORHOOD AT GREENWOOD

SMOKEY ROW ROAD
GREENWOOD, IN 46143

CERTIFIED BY
Joshua H. Chisholm

ISSUANCE INDEX		
DATE:	03/17/2022	
PROJECT PHASE:	PRIMARY PLAT	

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE
01	EASEMENT UPDATE	07/07/2022
02	CITY COMMENT	08/03/2022
03	TECH COMMENT	09/01/2022

Project Number 2018.00362

OVERALL PRIMARY PLAT

C200



!! CAUTION !!

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— INDIANA UNDERGROUND —



Redwood
APARTMENT NEIGHBORHOODS

REDWOOD USA, LLC
7007 E. PLEASANT VALLEY ROAD
INDEPENDENCE, OHIO



**AMERICAN
STRUCTUREPOINT**
INC.

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**REDWOOD
APARTMENT
NEIGHBORHOOD AT
GREENWOOD**

**SMOKEY ROW ROAD
GREENWOOD, IN 46143**





Joshua H. Cribbs
CERTIFIED BY

ISSUANCE INDEX	
DATE:	03/17/2022
PROJECT PHASE:	PRIMARY PLAT

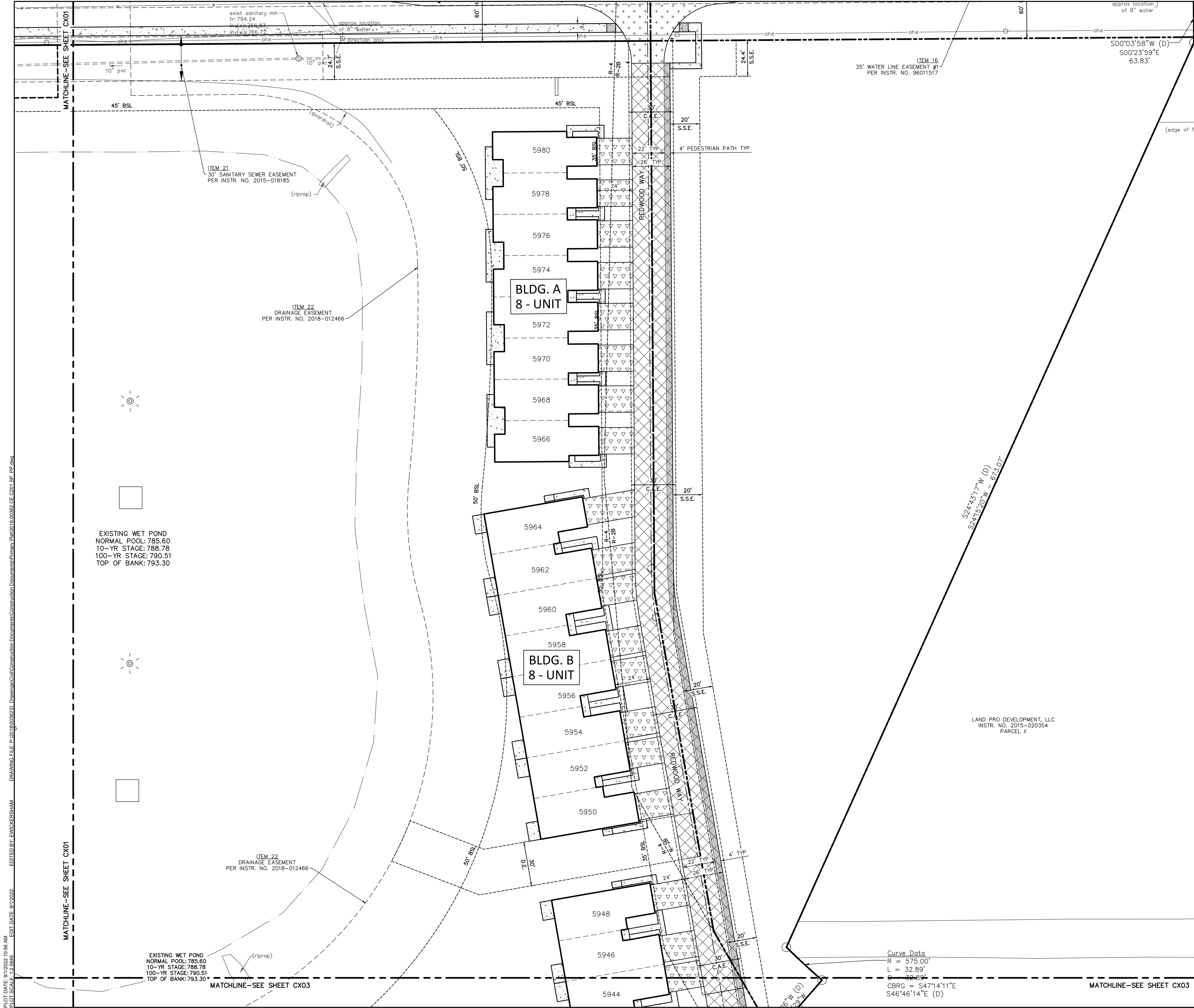
REVISION SCHEDULE		
NO.	DESCRIPTION	DATE
01	EASEMENT UPDATE	07/07/2022
02	CITY COMMENT	08/03/2022
03	TECH COMMENT	09/01/2022

Project Number

2018.00362

PRIMARY PLAT

C201



EXISTING LEGEND

BUSH	TEMPORARY BENCH MARK
CURB INLET	TELEPHONE HANDHOLE
CLEAN OUT	TELEPHONE MARKER SIGN
COMBINATION POLE	TELEPHONE POLE
DRAINAGE MANHOLE	TELEPHONE PEDESTAL
ELECTRIC HANDHOLE	TRANSFORMER
FIRE HYDRANT	TREE
FIRE PLUG	WATER METER
FIRE VALVE	WATER MARKER SIGN
GAS METER	WATER VALVE
GUY WIRE	YARD LIGHT
HOSE BIB	BURIED ELECTRIC LINE
INLET	OVERHEAD ELECTRIC LINE
LID	OVERHEAD TELEPHONE LINE
MAILBOX	TOP OF RIM ELEVATION
INVERT ELEVATION	INVERT ELEVATION
CORRUGATED METAL PIPE	CORRUGATED METAL PIPE
CORRUGATED PLASTIC PIPE	CORRUGATED PLASTIC PIPE
PLASTIC PIPE	PLASTIC PIPE
REINFORCED CONCRETE PIPE	REINFORCED CONCRETE PIPE
5/8" DIA. REBAR W/CAP	5/8" DIA. REBAR W/CAP
STAMPED "STRUCTUREPOINT"	STAMPED "STRUCTUREPOINT"
"0094" SET FLUSH	"0094" SET FLUSH
UNLESS OTHERWISE NOTED	UNLESS OTHERWISE NOTED

SITE LEGEND

TYPICAL CONCRETE PAVEMENT SECTION
INTERSECTION CONCRETE PAVEMENT SECTION
CONCRETE SIDEWALK SECTION
DRIVEWAY SECTION
ASPHALT TRAIL SECTION

PROPOSED LEGEND

BUILDING SETBACK LINE
EASEMENT
BSL BUILDING SETBACK LINE
A.E. ACCESS EASEMENT
C.A.E. CROSS ACCESS EASEMENT
S.S.E. SANITARY SEWER EASEMENT
SIGN

SITE DATA TABLE

CURRENT ZONING:	RMC
PROPOSED ZONING:	RMC
TOTAL AREA:	±30.17 AC
POND NORMAL POOL AREA:	±4.10 AC
UNITS:	175
PROJECT UNIT DENSITY:	5.8 UNITS/ACRE
PHASE I UNITS:	100
PHASE I AREA:	±20.99 AC
PHASE II UNITS:	75
PHASE II AREA:	±9.18 AC
PHASE I PARKING	
STANDARD PARKING (10'x20'):	23
ADA PARKING PROVIDED: (INCLUDES 4 VAN ACCESSIBLE)	4
DRIVEWAY PARKING:	200
TOTAL PROPOSED PARKING:	227
TOTAL REQUIRED PARKING: (1.75 SPACES PER UNIT)	175
PHASE II PARKING	
STANDARD PARKING (10'x20'):	26
ADA PARKING PROVIDED:	0
DRIVEWAY PARKING:	150
TOTAL PROPOSED PARKING:	176
TOTAL REQUIRED PARKING: (1.75 SPACES PER UNIT)	132

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SMOKEY ROW ROAD
GREENWOOD, IN 46143

X01	X02
X04	X03

CERTIFIED BY
Joshua H. Cribben

ISSUANCE INDEX

DATE:	03/17/2022
PROJECT PHASE:	PRIMARY PLAT

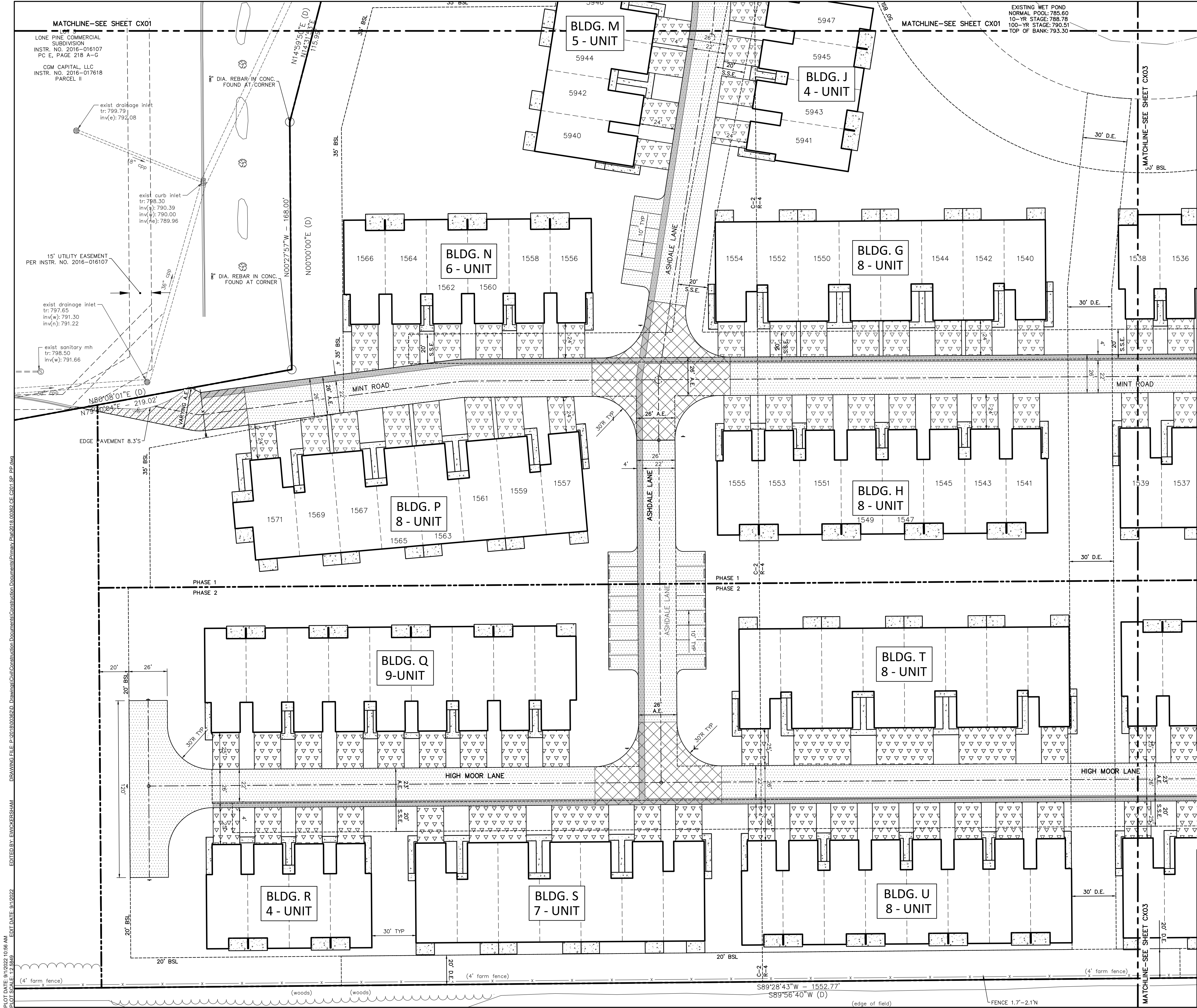
REVISION SCHEDULE

NO.	DESCRIPTION	DATE
01	EASEMENT UPDATE	07/07/2022
02	CITY COMMENT	08/03/2022
03	TECH COMMENT	09/01/2022

Project Number 2018.00362

PRIMARY PLAT

C202



EXISTING LEGEND	
	BUSH
	CLEAN OUT
	COMBINATION POLE
	DRAINAGE MANHOLE
	ELECTRIC HANDHOLE
	FIRE HYDRANT
	FIRE PLUG
	FIRE VALVE
	GAS METER
	GAS MARKER SIGN
	GUY WIRE
	HOSE BIB
	INLET
	LID
	LIGHT POLE
	MAILBOX
	PINE
	POST
	POWER POLE
	SIGN
	SANITARY MANHOLE
	STAND PIPE
	TEMPORARY BENCH MARK
	TELEPHONE HANDHOLE
	TELEPHONE MARKER SIGN
	TELEPHONE POLE
	TELEPHONE PEDESTAL TRANSFORMER
	TREE
	WATER METER
	WATER MARKER SIGN
	WATER VALVE
	YARD LIGHT
	BURIED ELECTRIC LINE
	OVERHEAD ELECTRIC LINE
	OVERHEAD TELEPHONE LINE
	TOP OF RIM ELEVATION
	INVERT ELEVATION
	CORRUGATED METAL PIPE
	CORRUGATED PLASTIC PIPE
	PLASTIC PIPE
	REINFORCED CONCRETE PIPE
	5/8" DIA. REBAR W/CAP
	STAMPED "STRUCTUREPOINT 0094" SET FLUSH, UNLESS OTHERWISE NOTED

SITE LEGEND	
	TYPICAL CONCRETE PAVEMENT SECTION
	INTERSECTION CONCRETE PAVEMENT SECTION
	CONCRETE SIDEWALK SECTION
	DRIVEWAY SECTION
	ASPHALT TRAIL SECTION

PROPOSED LEGEND	
	BUILDING SETBACK LINE
	EASEMENT
	BUILDING SETBACK LINE
	ACCESS EASEMENT
	CROSS ACCESS EASEMENT
	SANITARY SEWER EASEMENT
	SIGN

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 - CONTRACTOR TO VERIFY LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES PRIOR TO COMMENCING ANY CONSTRUCTION. CONTACT ENGINEER IF VARIATION EXISTS.

!! CAUTION !!

THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (including, but not limited to, manholes, inlets, valves, and marks made upon the ground by others) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

CALL TOLL FREE
"811" OR 1-800-382-5544
- INDIANA UNDERGROUND -

REDWOOD USA, LLC
7007 E. PLEASANT VALLEY ROAD
INDEPENDENCE, OHIO

9025 River Road, Suite 200 | Indianapolis, Indiana 46240
TEL 317.547.5580 | FAX 317.543.0270
www.structurepoint.com

REDWOOD APARTMENT NEIGHBORHOOD AT GREENWOOD

SMOKEY ROW ROAD
GREENWOOD, IN 46143

X01	X02
X04	X03

CERTIFIED BY
Joshua H. Chibrel

ISSUANCE INDEX		
DATE:	03/17/2022	
PROJECT PHASE:	PRIMARY PLAT	

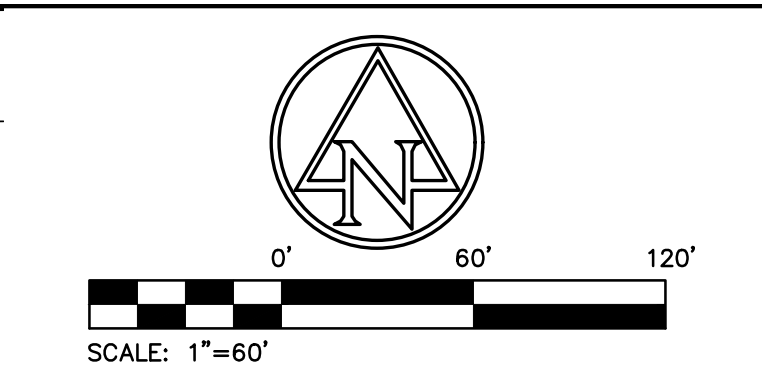
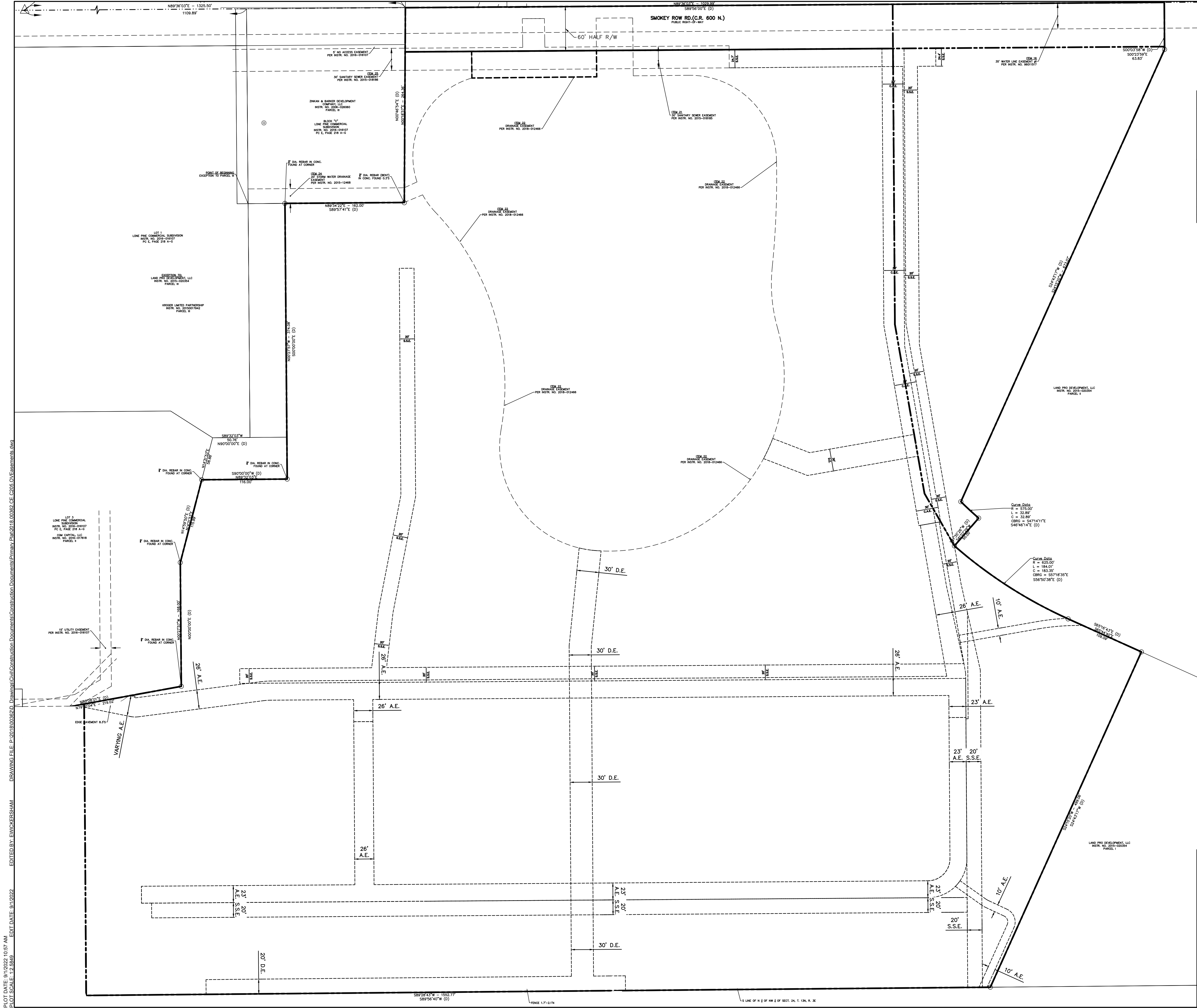
REVISION SCHEDULE		
NO.	DESCRIPTION	DATE
01	EASEMENT UPDATE	07/07/2022
02	CITY COMMENT	08/03/2022
03	TECH COMMENT	09/01/2022

Project Number 2018.00362

PRIMARY PLAT

C204

LOT DATE: 9/12/2022 10:56 AM
PLOT SCALE: 1"=30'
DRAWING FILE: P:\2018\00362.Dwg
DRAWING: Civil Construction Documents
CONSTRUCTION DOCUMENTS
PRIMARY PLAT
C204.SP
PP.dwg
EDITED BY: EWICKERSHAM
EDIT DATE: 9/12/2022



PROPOSED LEGEND	
-----	EASEMENT
R/W	RIGHT OF WAY
A.E.	ACCESS EASEMENT
C.A.E.	CROSS ACCESS EASEMENT
S.S.E.	SANITARY SEWER EASEMENT
D.E.	DRAINAGE EASEMENT

DEVELOPMENT STANDARDS	
(CURRENT 2022 ZONING ORDINANCE)	
ZONING	RMC
SETBACK STANDARDS	
FRONT	20'
SIDE	20' FOR EACH SIDE YARD
REAR	20'

NOTE:
BUILDING SETBACK LINES ARE TO BE ESTABLISHED IN ACCORDANCE WITH THE MOST CURRENT GREENWOOD ZONING ORDINANCE.

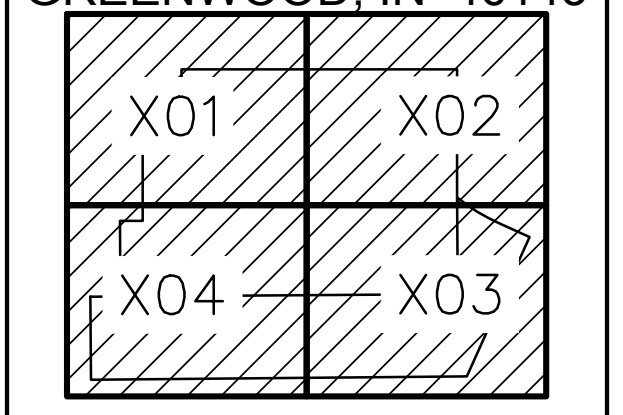
REDWOOD USA, LLC
7007 E. PLEASANT VALLEY ROAD
INDEPENDENCE, OHIO

AMERICAN
STRUCTUREPOINT
INC.

9025 River Road, Suite 200 | Indianapolis, Indiana 46240
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REDWOOD APARTMENT NEIGHBORHOOD AT GREENWOOD

SMOKEY ROW ROAD
GREENWOOD, IN 46143



Joshua H. Crisler
CERTIFIED BY

ISSUANCE INDEX	
DATE:	03/17/2022
PROJECT PHASE:	PRIMARY PLAT

REVISION SCHEDULE		
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01	EASEMENT UPDATE	07/07/2022
02	CITY COMMENT	08/03/2022
03	TECH COMMENT	09/01/2022

Project Number	2018.00362
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PRIMARY PLAT EASEMENTS

C205

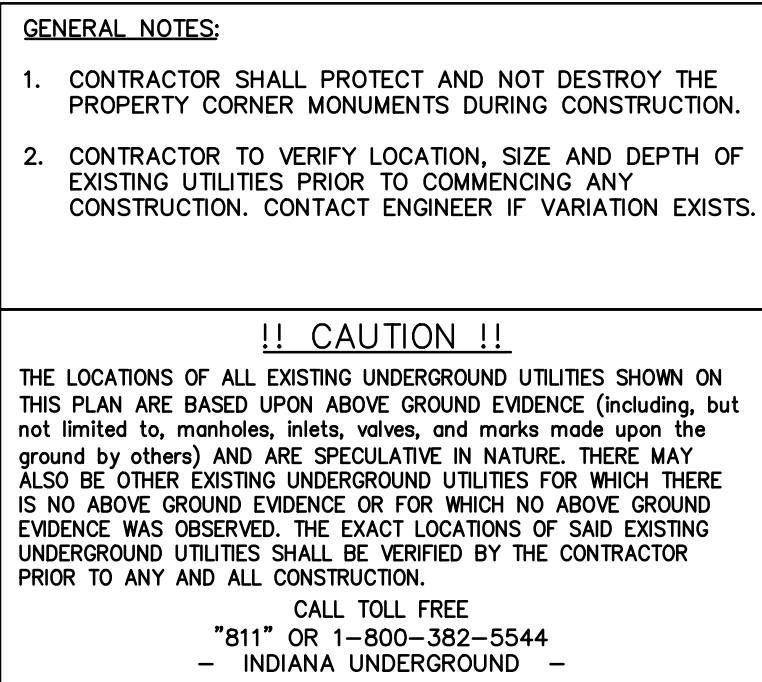
- GENERAL NOTES:
- CONTRACTOR SHALL PROTECT AND NOT DESTROY THE PROPERTY CORNER MONUMENTS DURING CONSTRUCTION.
 - CONTRACTOR TO VERIFY LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES PRIOR TO COMMENCING ANY CONSTRUCTION. CONTACT ENGINEER IF VARIATION EXISTS.

!! CAUTION !!

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CALL TOLL FREE
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- INDIANA UNDERGROUND -

DRAWING FILE: P:\2018\00362\Drawings\Civil\Construction Documents\Primary Plat\018.00362 CE C205 Overlaid.dwg
EDIT DATE: 9/1/2022
PLOT DATE: 9/1/2022 10:57 AM
PLOT SCALE: 1"=60'



Joshua H. Cricklar
 CERTIFIED BY

