

PC2024-081 Leatherwood Primary Plat

Present: Planning Director Gabriel Nelson, City Planner Alyssa Liebman, City Planner Nicki Mueller, City Planner Kevin Tolloty, City Engineer Jim Peck, City Engineering Paul Peoni, City Engineering John Grimes, Stormwater Chris Jones, Fire Marshal Tracy Rumble, Community Relations Ty Hayden, Recording Secretary Stevie Jarrett, Deputy Mayor Terry McLaughlin, Sanitation Superintendent Randy Weathers, JCREMC Caleb Drake

Petitioners: Kevin Sumner SumnerK@weihe.net Rausch, Matthew mrausch@nvrinc.com Garrett Illa illag@weihe.net

Mr. Sumner presented this project. This is for a primary plat at the southwest corner of Five Points Road and County Line Road. This is about 66 acres.

Gabriel Nelson, Planning, stated the commitments have been recorded. Commonwealth has issued the final letter. Planning comments will be included in the letter including details on waivers. A 20-foot landscape bufferyard is required along the ROW. This is not required south of lots 8 and 9. Verify the bufferyard required plantings won't conflict with the utilities. One of the pedestrian bridges and path will need to be constructed.

Jim Peck, Engineering, stated they are anticipating a traffic study. Once it is received, it will be reviewed.

Paul Peoni, Engineering, asked about the ROW improvements. Five Points Road will need to be re-built per county road option #1. Detention pond will need to have guard rails that front a roadway.

There was discussion about utilities in the ROW.

Chris Jones, Stormwater, explained BMPs are owned by the HOA.

Mr. Sumner had previously discussed with Mr. St. John about improvements to Grubbs ditch. Mr. Peoni stated he didn't know about this conversation. Engineering will discuss internally.

Randy Weathers, Sanitation, had no comments.

Tracy Rumble, Greenwood Fire Department, had no comments.

Kenneth Seal, Building, had no comments.

Caleb Drake, JCREMC, explained this is actually a split territory with AES. There was discussion about split territories.

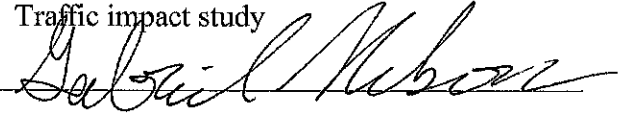
Mr. Peck asked Mr. Sumner about an ETA on the traffic study.

Motion by Mr. Nelson to have this project continued until the traffic impact study can be reviewed, seconded by Mr. Grimes. All ayes. MOTION CARRIES. That the Plat and/or Plans have been prepared in accordance with the terms of the SUBDIVISION CONTROL,

City of Greenwood Technical Review Committee
February 24, 2025

STORMWATER DRAINAGE AND ZONING ORDINANCES. With the following standard conditions:

- All staff comments are addressed.
- Traffic impact study

A handwritten signature in black ink, appearing to read "Gabriel M. Brown", is written over a horizontal line.

Chairman



AREA MAP

NO SCALE

★ PROJECT LOCATION

LEGAL DESCRIPTION:

THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION TWENTY-SIX (26) IN TOWNSHIP FOURTEEN (14) NORTH, OF RANGE FOUR (4) EAST, CONTAINING EIGHTY (80) ACRES, MORE OR LESS.

EXCEPT THEREFROM THE FOLLOWING:

A PART OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 26, TOWNSHIP 14 NORTH, RANGE 4 EAST OF THE SECONDS PRINCIPAL MERIDIAN, IN JOHNSON COUNTY, INDIANA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID EAST HALF/NORTHEAST QUARTER SECTION; THENCE WEST, ON AND ALONG THE SOUTH LINE THEREOF A DISTANCE OF 376.6 FEET; THENCE NORTH, PARALLEL WITH THE EAST LINE OF SAID HALF/QUARTER SECTION A DISTANCE OF 177.0 FEET; THENCE EAST, PARALLEL WITH SAID SOUTH LINE A DISTANCE OF 376.6 FEET TO A POINT ON SAID EAST LINE; THENCE SOUTH, ON AND ALONG SAID EAST LINE A DISTANCE OF 177.0 FEET TO THE PLACE OF BEGINNING, CONTAINING 1.53 ACRE, MORE OR LESS.

ERRORS AND OMISSIONS STATEMENT:

DESIGN PROFESSIONAL CERTIFYING PLANS FOR THE PROJECT ACKNOWLEDGES HIS PROFESSIONAL RESPONSIBILITY FOR ENSURING THAT ALL WORK IS CORRECT, ACCURATE AND COMPLIES WITH ALL APPROPRIATE LAWS, STANDARDS, REGULATIONS AND ORDINANCES. IF AN ERROR OR OMISSION IS FOUND, THE DESIGN PROFESSIONAL ACCEPTS FULL RESPONSIBILITY AND SHALL DETERMINE A SOLUTION THAT COMPLIES WITH ALL APPROPRIATE LAWS, STANDARDS, REGULATIONS AND ORDINANCES. IF SUCH AN ERROR OR OMISSION IS FOUND, THE DEVELOPER IS NOT RELIEVED OF COMPLYING WITH ALL APPROPRIATE LAWS, STANDARDS, REGULATIONS AND ORDINANCES.

REGULATED DRAIN NOTES:

- NO STRUCTURES, OR IMPROVEMENTS SHALL BE PERMITTED WITHIN THE LEGAL DRAIN EASEMENT. ALL UTILITIES, BUILDINGS, STRUCTURES, PLANTINGS, CROPS, TREES SHRUBS, AND WOODY VEGETATION GROWN WITHIN THE EASEMENT, OR ALONG THE LEGAL DRAIN ARE AT THE RISK OF OWNER AND SUBJECT TO REMOVAL WITH MINIMAL NOTICE, WITHOUT RESTITUTION, AND SUBJECT TO SPECIAL ASSESSMENT. (IC 36-9-27-33).
- THIS SITE PLOTS BY SCALE AS BEING WITHIN A REGULATED WATERSHED. ANY AND ALL SITE IMPROVEMENTS WITHIN A REGULATED WATERSHED ARE SUBJECT TO REVIEW BY THE JOHNSON COUNTY DRAINAGE BOARD. ALL TRACTS WITHIN A REGULATED DRAIN WATERSHED ARE SUBJECT TO ASSESSMENTS FOR MAINTENANCE (IC 36-9-27-44), AND WHEN PRACTICABLE, RECONSTRUCTION (IC 36-9-27-51).
- NO CONSTRUCTION, OR IMPROVEMENTS, SHALL IMPAIR OR NEGATIVELY IMPACT ANY PRIVATE DRAIN TILE (IC 36-9-27-2) KNOWN OR UNKNOWN, NO CONSTRUCTION, OR IMPROVEMENTS SHALL IMPAIR, IMPEDE, OR NEGATIVELY IMPACT, A NATURAL SURFACE WATERCOURSE (IC 36-9-27-4-3). WHEN ENCOUNTERED SAID TILE OR WATERCOURSE WILL BE DESIGNED, AND RE-ROUTED SO NOT TO IMPEDE, IMPAIR, OR NEGATIVELY IMPACT SURFACE OR SUBSURFACE WATER FLOW.

OPERATING AUTHORITIES:

GREENWOOD STREET DEPARTMENT
CITY OF GREENWOOD
367 S WASHINGTON STREET
GREENWOOD, IN 46143
(317) 887-5607
KENNY DUNCAN

GREENWOOD ENGINEERING
300 S MADISON AVENUE
GREENWOOD, IN 46142
(317) 887-5230
JIM PECK

GREENWOOD STORMWATER
367 S WASHINGTON STREET
GREENWOOD, IN 46143
(317) 887-4711
CHRIS JONES

GREENWOOD SANITATION DEPARTMENT
367 S WASHINGTON STREET
GREENWOOD, IN 46143
(317) 888-1254
RANDY WEATHERS

INDIANA-AMERICAN WATER COMPANY
153 N. EMERSON AVENUE
GREENWOOD, IN 46143
(317) 885-2426
TRACY WHITE

COMCAST
2520 ENDRESS PLACE
GREENWOOD, IN 46143
(317) 204-4197

DUKE ENERGY
(812) 662-2007
JESSICA JACKSON
EMAIL: JESSICA.JACKSON@DUKE-ENERGY.COM

VECTREN ENERGY DISTRIBUTION
600 INDUSTRIAL DRIVE
FRANKLIN, IN 46131
(317) 736-2986
STEVE WASHBURN

A&T
240 NORTH MERIDIAN STREET
INDIANAPOLIS, IN 46220
(317) 252-4290
JEFF RICE

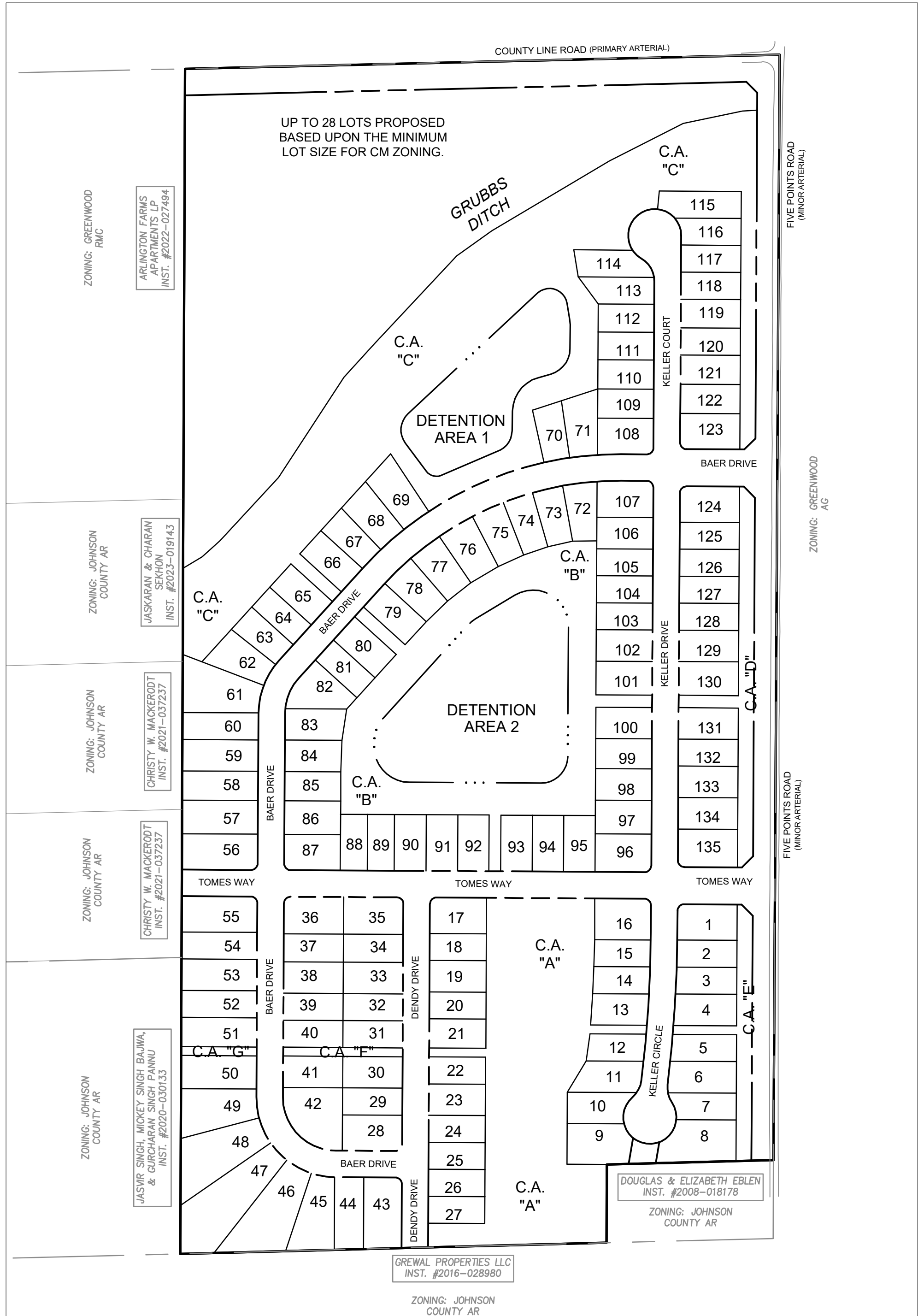
GREENWOOD PLANNING
300 S. MADISON AVENUE
GREENWOOD, IN 46142
(317) 881-8698
GABRIEL NELSON

JOHNSON COUNTY SURVEYOR
86 EAST COURT STREET
FRANKLIN, INDIANA 46131
(317) 346-4341
GREGG CANTWELL

JOHNSON COUNTY REMC
750 INTERNATIONAL DRIVE
FRANKLIN, IN 46131
KEVIN SHELLEY
SHELLEYK@JCRCMC.COM

ZONING	
EXISTING	
AR (Agricultural/Residential District) - JOHNSON CO.	
PROPOSED	
RM (Residential Medium) - GREENWOOD	
ANNEXATION	
PC2024-059	
CONSTRUCTION TIMELINE	
START CONSTRUCTION: MARCH 2025	
END CONSTRUCTION: MARCH 2029	

PROPOSED CONDITIONS	
PROJECT AREA	65.65 AC
PROPOSED LOTS	135
PROPOSED DENSITY	2.1 LOTS/ACRE
COMMON AREA	22.60 AC

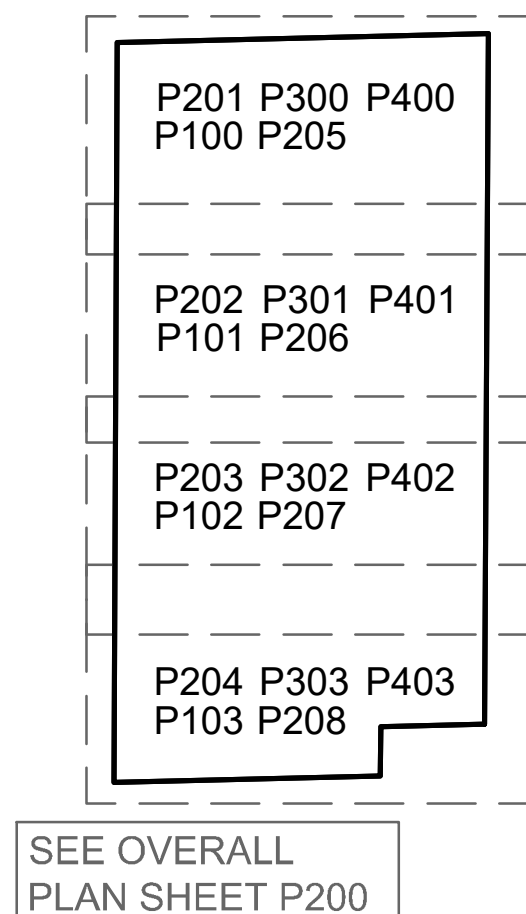


SITE MAP

LOT STANDARDS	
RM	
PROPOSED MINIMUM LOT AREA:	7,700 SF
PROPOSED MINIMUM FRONT SETBACK:	20'
PROPOSED MINIMUM SIDE YARD SETBACK:	10'
PROPOSED MINIMUM LOT REAR YARD SETBACK:	25'
RM - 71' LOTS:	
NUMBER OF LOTS:	67
RM - 61' LOTS (less than 71'):	
NUMBER OF LOTS:	68

STREET LENGTHS	
TOMES WAY	1339'
KELLER DRIVE	944'
BAER DRIVE	2,656'
DENDY DRIVE	821'
KELLER COURT	530'
KELLER CIRCLE	525'

KEY MAP



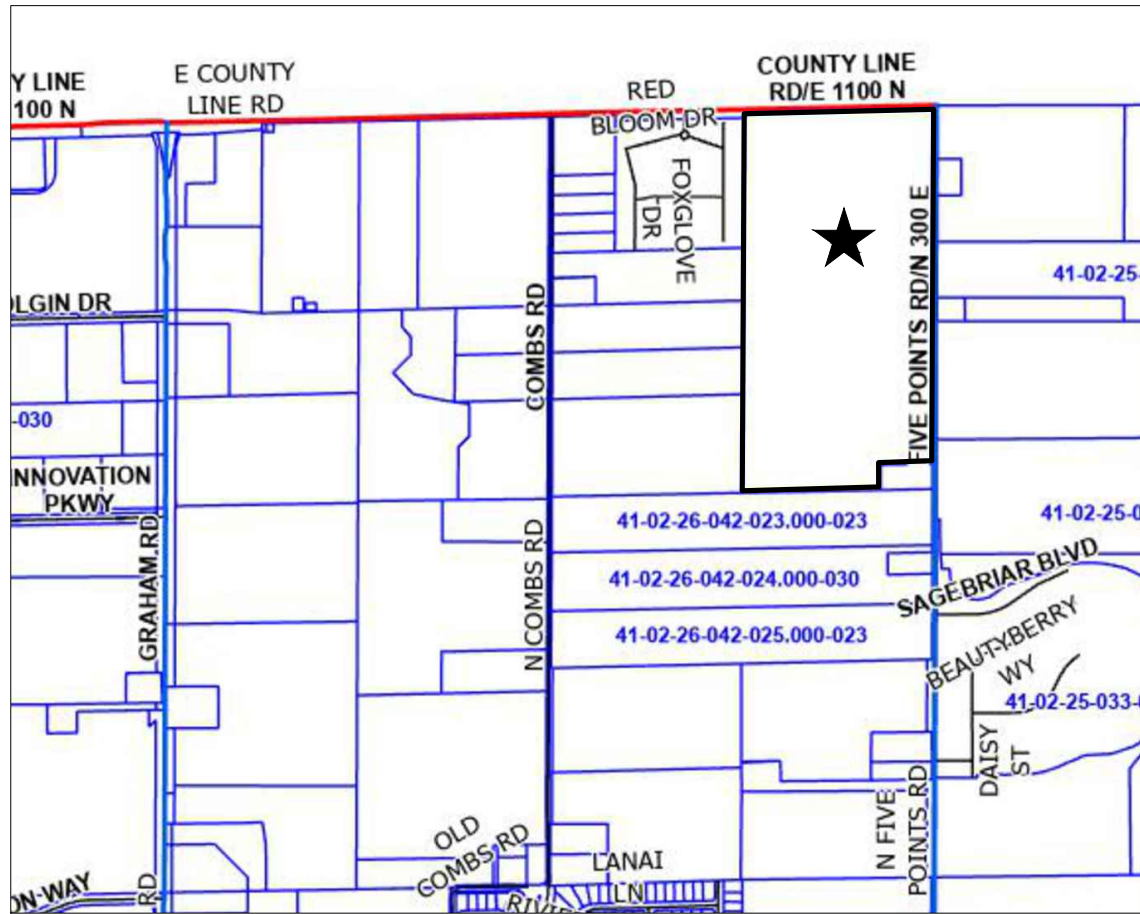
PLANS PREPARED FOR:
NVR, INC., D/B/A RYAN HOMES
8425 WOODFIELD CROSSING BLVD.
INDIANAPOLIS, IN 46240
TELEPHONE: (317) 490-2391
CONTACT PERSON: MATT RAUSCH
EMAIL: MRAUSCH@NVRINC.COM



PLANS PREPARED BY:
WEIHE ENGINEERS
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INDIANAPOLIS, INDIANA 46280
TELEPHONE: (317) 846-6611
CONTACT PERSON: KEVIN SUMNER, P.S.
EMAIL: SUMNERK@WEIHE.NET



Within Indiana Call
811 or 800-382-5544
24 Hours a Day, 7 Days a Week.
PER INDIANA STATE LAW IC 8-1-26,
IT IS AGAINST THE LAW TO EXCAVATE
WITHOUT NOTIFYING THE UNDERGROUND
UTILITY SERVICE TWO (2) WORKING
DAYS BEFORE COMMENCING WORK.



VICINITY MAP

NO SCALE

★ PROJECT LOCATION

SHEET INDEX

SHEET NO.	DESCRIPTION
P001	TITLE SHEET
P100-P103	EXISTING CONDITIONS
P200	OVERALL DEVELOPMENT PLAN
P201-P204	SITE PLAN
P205-P208	PRIMARY PLAT
P300-P303	UTILITY PLAN
P400-P403	STREET TREE PLAN

STATEMENT OF USE

LEATHERWOOD TRAILS IS A 135 LOT RESIDENTIAL MAJOR SUBDIVISION WITH REQUIRED INFRASTRUCTURE. ALSO, UP TO 28 COMMERCIAL LOTS.

DRAINAGE NARRATIVE

THE LEATHERWOOD TRAILS DEVELOPMENT IS PROPOSED TO BE A 135 LOT SINGLE FAMILY RESIDENTIAL SUBDIVISION THAT IS MASTER DESIGNED TO DETAIN AND RELEASE STORMWATER RUNOFF PER GREENWOOD AND JOHNSON COUNTY SURVEYOR'S OFFICE STANDARDS, RESPECTIVELY. THE RUNOFF FROM THE PROPOSED LOTS, ROADS, SIDEWALKS, DRIVEWAYS, AND MULTI-USE PATHS IS COLLECTED AND CONVEYED VIA PROPOSED STORM INFRASTRUCTURE, TREATED WITH PROPOSED STORMWATER QUALITY MEASURES, AND DISCHARGED INTO TWO (2) WET PONDS, BEFORE OUTLETING TO THE ULTIMATE OUTFALL LOCATION OF THE SITE, GRUBBS DITCH. ALL ONSITE RUNOFF OUTLETS TO GRUBBS DITCH IN THE EXISTING AND PROPOSED CONDITIONS.

10505 N. College Avenue
Indianapolis, Indiana 46280
weihe.net
317 | 846 - 6611
800 | 452 - 6408
317 | 843 - 0546 fax

WEIHE ENGINEERS
Land Surveying | Civil Engineering
Landscape Architecture
Build with confidence.

PROJECT NO.:	W240344
DWG NAME:	PROJ Title Sheet
DESIGNED BY:	KLH
DRAWN BY:	KMH
CHECKED BY:	KCS
DATE:	10/20/2025

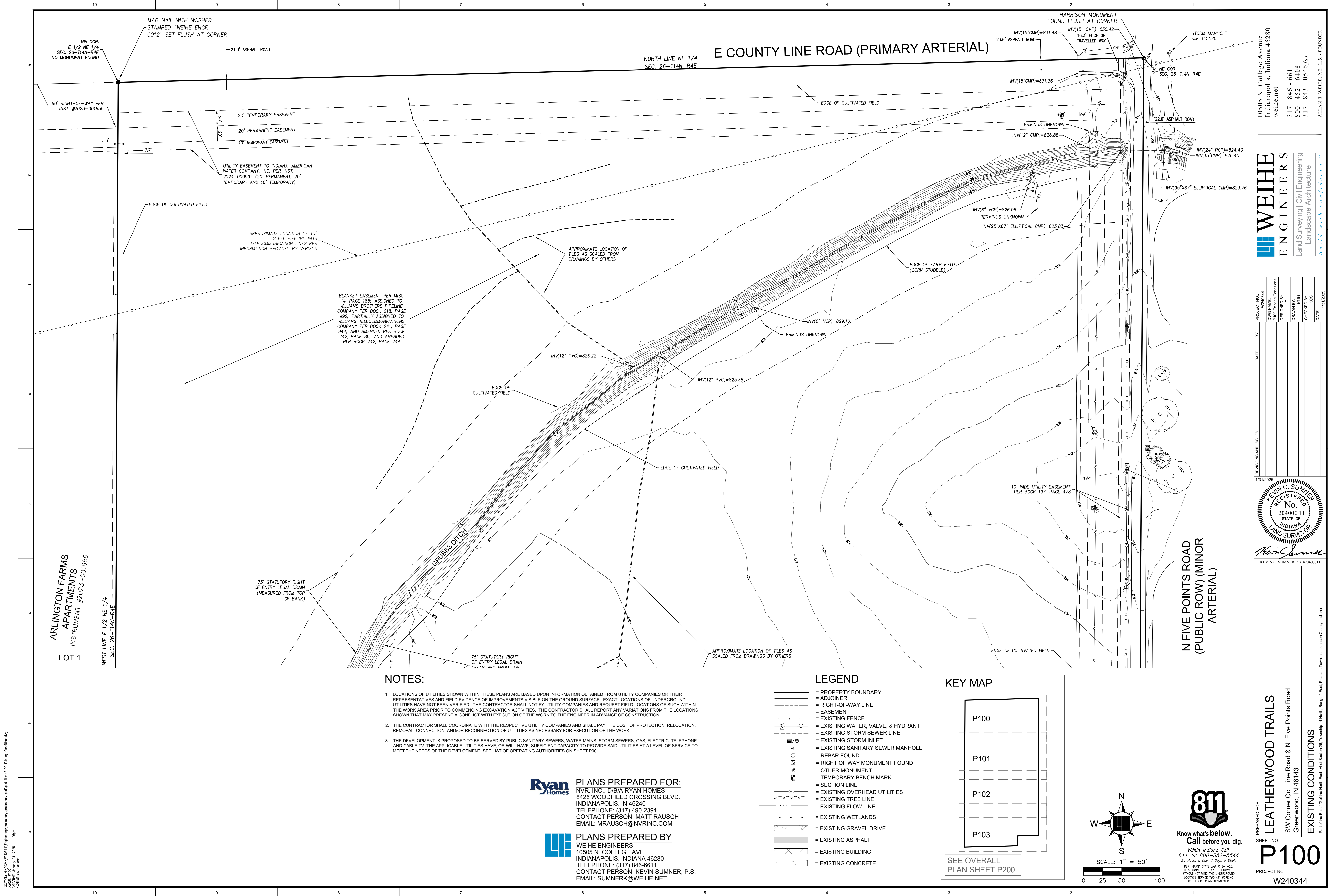


KEVIN C. SUMNER P.S. #20400011

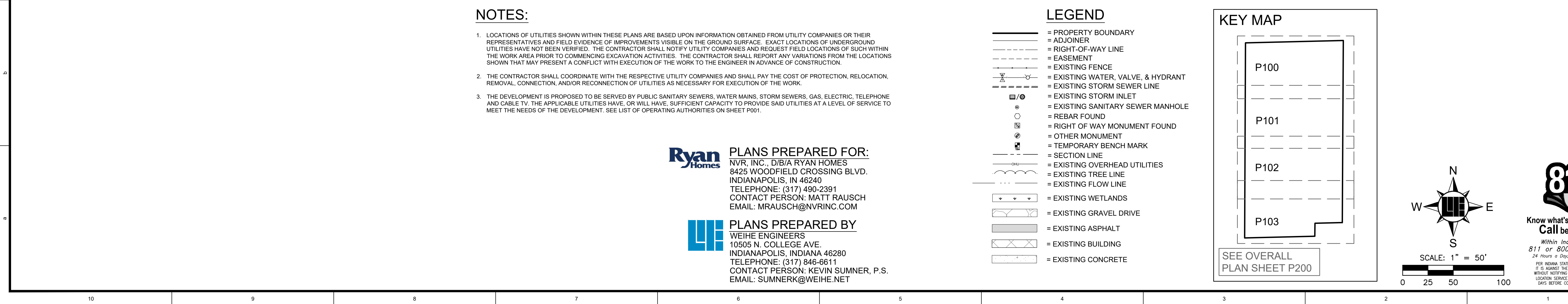
PREPARED FOR:
LEATHERWOOD TRAILS
SW Corner Co. Line Road & N. Five Points Road,
Greenwood, IN 46143
TITLE SHEET
Part of the East 1/2 of the North-East 1/4 of Section 26, Township 14 North, Range 4 East, Pleasant Township, Johnson County, Indiana

SHEET NO.
P001

PROJECT NO.
W240344



10	9	8	7	6	5	4	3	2	1
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SHEET NO. P102	PREPARED FOR: LEATHERWOOD TRAILS
	SW Corner Co. Line Road & N. Five Points Road, Greenwood, IN 46143
PROJECT NO. W2403344	EXISTING CONDITIONS

Part of the East 1/2 of the North-East 1/4 of Section 26, Township 14 North, Range 4 East, Pleasant



Ryan
Homes

PLANS PREPARED FOR:
NVR, INC., D/B/A RYAN HOMES
8425 WOODFIELD CROSSING BLVD.
INDIANAPOLIS, IN 46240
TELEPHONE: (317) 490-2391
CONTACT PERSON: MATT RAUSCH
EMAIL: MRAUSCH@NVRINC.COM

NOTES

1. THE DESIGN AND CONSTRUCTION OF THIS DEVELOPMENT SHALL WITH THE CURRENT CITY OF GREENWOOD CONSTRUCTION SPECIFICATIONS AND STANDARD CONSTRUCTION DETAILS.
2. ALL STREET RIGHT OF WAY INTERSECTIONS TO BE ROUNDED OFF 15' RADIUS UNLESS OTHERWISE NOTED.
3. ALL INTERIOR RIGHT OF WAY WIDTHS TO BE 60' UNLESS OTHERWISE NOTED.
4. ALL INTERIOR STREET WIDTHS TO BE 26' UNLESS OTHERWISE NOTED.
5. ALL CORNER LOTS WILL BE SUBJECT TO TWO FRONT YARD SETBACKS.



1/31/2025



KEVIN C. SUMNER P.S. #20400011

PREPARED FOR:
LEATHERWOOD TRAILS
SW Corner Co. Line Road & N. Five Points Road,
Greenwood, IN 46143

OVERALL DEVELOPMENT PLAN

Part of the East 1/2 of the North-East 1/4 of Section 26, Township 14 North, Range 4 East, Pleasant Township, Johnson County, Indiana

SHEET NO.
P200

PROJECT NO.
W240344

LOCATION: IN, 2024 W240344 Engineering (Preliminary) Preliminary plat/plan V2001 Site Planning
DATE/TIME: January 31, 2025 - 1:56pm
PLOTTER BY: hennick

ARLINGTON FARMS
APARTMENTS
INSTRUMENT #2023-001659
LOT 1

Curve Table					
Curve #	Arc Length	Radius	Delta	Chord Bearing	Chord Length
C1	23.56'	15.00'	090	N44°41'03"W	21.21'
C2	43.40'	60.00'	041	N00°24'18"W	42.46'
C3	44.91'	60.00'	043	N62°34'11"W	43.87'
C4	135.47'	60.00'	129	S31°18'08"W	108.48'
C5	27.54'	60.00'	026	S46°31'59"E	27.30'
C6	53.16'	60.00'	051	S34°18'16"E	51.43'
C7	9.68'	60.00'	009	S04°18'16"E	9.67'
C8	23.56'	15.00'	090	S45°18'57"W	21.21'
C9	53.57'	790.00'	004	S88°20'54"W	53.56'
C10	62.73'	790.00'	005	S84°04'37"W	62.71'
C11	59.16'	790.00'	004	S79°36'00"W	59.15'
C12	284.74'	790.00'	021	S66°58'09"W	283.16'
C13	69.20'	790.00'	005	S53°58'11"W	69.18'
C14	69.20'	790.00'	005	S48°53'12"W	69.18'
C15	55.49'	790.00'	004	S44°18'20"W	55.48'
C16	12.49'	180.00'	004	S40°18'54"W	12.49'
C17	54.60'	180.00'	017	S29°30'20"W	54.48'
C18	63.30'	180.00'	020	S10°47'57"W	63.06'
C19	1.24'	180.00'	000	S00°30'49"W	1.24'
C20	23.56'	15.00'	090	S45°18'57"W	21.21'
C21	23.56'	15.00'	090	S44°41'03"E	21.21'
C22	47.41'	180.00'	015	S07°19'46"E	47.27'
C23	62.89'	180.00'	020	S24°47'04"E	62.58'
C24	53.62'	180.00'	017	S45°19'43"E	53.42'
C25	60.80'	180.00'	020	S61°52'23"E	60.59'
C26	53.92'	180.00'	017	S80°27'56"E	53.72'
C27	2.00'	180.00'	001	S89°21'57"E	2.00'

Curve Table					
Curve #	Arc Length	Radius	Delta	Chord Bearing	Chord Length
C28	23.56'	15.00'	090	N44°41'03"E	21.21'
C29	23.56'	15.00'	090	N45°18'57"E	21.21'
C30	188.81'	120.00'	090	S44°36'36"E	169.93'
C31	23.56'	15.00'	090	S45°18'57"W	21.21'
C32	23.56'	15.00'	090	N44°41'03"W	21.21'
C33	23.56'	15.00'	090	S45°18'57"W	21.21'
C34	23.56'	15.00'	090	N44°41'03"W	21.21'
C35	20.02'	2970.00'	000	N00°33'13"E	20.02'
C36	61.01'	2970.00'	001	N01°20'07"E	61.01'
C37	61.05'	2970.00'	001	N02°30'45"E	61.04'
C38	71.13'	2970.00'	001	N03°47'15"E	71.13'
C39	20.06'	2970.00'	000	N04°02'02"E	20.06'
C40	61.25'	2970.00'	001	N05°27'05"E	61.25'
C41	43.75'	2970.00'	001	N06°27'51"E	43.75'
C42	29.71'	60.00'	028	N21°04'19"E	29.41'
C43	14.47'	60.00'	014	N42°09'52"E	14.43'
C44	66.30'	60.00'	063	S17°23'16"W	63.03'
C45	35.62'	60.00'	037	S32°41'12"E	37.86'
C46	62.83'	60.00'	060	S81°04'42"E	60.00'
C47	66.70'	60.00'	064	N07°04'24"E	63.32'
C48	40.80'	60.00'	039	N14°15'18"W	40.02'
C49	24.26'	60.00'	023	S22°09'10"E	24.10'
C50	18.33'	60.00'	018	S01°49'07"E	18.28'
C51	53.06'	3030.00'	001	N06°25'48"E	53.06'
C52	61.24'	3030.00'	001	N05°20'58"E	61.24'
C53	20.56'	3030.00'	000	N04°34'51"E	20.56'
C54	71.13'	3030.00'	001	N03°43'07"E	71.13'

Curve Table					
Curve #	Arc Length	Radius	Delta	Chord Bearing	Chord Length
C55	61.04'	3030.00'	001	N02°28'09"E	61.04'
C56	61.01'	3030.00'	001	N01°18'54"E	61.01'
C57	19.96'	3030.00'	000	N00°32'58"E	19.96'
C58	23.56'	15.00'	090	S45°18'57"W	21.21'
C59	23.56'	15.00'	090	N44°41'03"W	21.21'
C60	23.56'	15.00'	090	N45°18'57"E	21.21'
C61	23.56'	15.00'	090	S44°41'03"E	21.21'
C62	11.26'	120.00'	005	S03°00'13"W	11.25'
C63	76.61'	120.00'	037	S23°58'49"W	75.31'
C64	4.97'	720.00'	000	S42°28'00"W	4.97'
C65	81.28'	720.00'	006	S45°53'55"W	81.24'
C66	81.54'	720.00'	006	S52°22'38"W	81.50'
C67	87.56'	720.00'	007	S59°06'20"W	87.51'
C68	76.28'	720.00'	006	S65°37'29"W	76.25'
C69	69.83'	720.00'	006	S71°26'18"W	69.80'
C70	70.05'	720.00'	006	S77°00'15"W	70.03'
C71	78.67'	720.00'	006	S82°56'19"W	78.63'
C72	53.58'	720.00'	004	S88°11'02"W	53.56'
C73	23.56'	15.00'	090	N44°41'03"W	21.21'
C74	23.56'	15.00'	090	N45°18'57"E	21.21'
C75	422.28'	3000.00'	008	N04°23'35"E	421.93'
C76	235.62'	150.00'	090	S44°41'03"E	212.13'
C77	106.83'	150.00'	042	S21°17'33"W	107.40'
C78	628.93'	750.00'	048	S66°17'33"W	610.86'
C79	84.31'	150.00'	032	N15°47'11"W	83.21'

NOTES

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INDIANAPOLIS, IN 46240
TELEPHONE: (317) 490-2391
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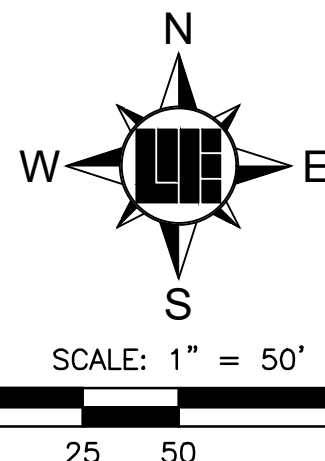
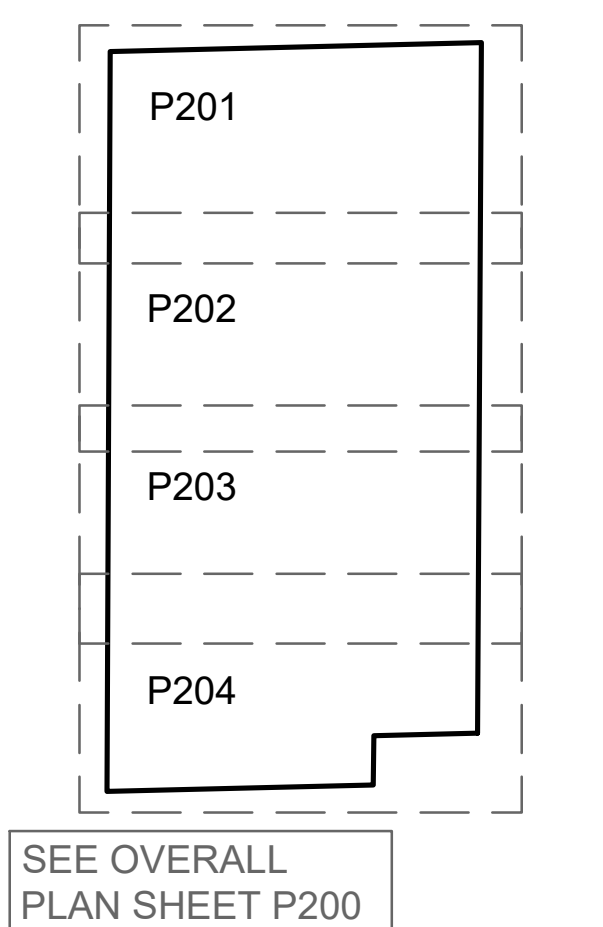


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TELEPHONE: (317) 846-6611
CONTACT PERSON: KEVIN SUMNER, P.S.
EMAIL: SUMNERK@WEIHE.NET

LEGEND

- PROPERTY BOUNDARY
- ADJOINER
- RIGHT-OF-WAY LINE
- BUILDING SETBACK LINE (B.S.L.)
- EXISTING EASEMENT
- EASEMENT
- EXISTING OVERHEAD UTILITY & POLE
- EXISTING TREE LINE
- PROPOSED CURB
- PROPOSED 5' CONCRETE WALK
- PROPOSED ASPHALT PATH
- PROPOSED CENTERLINE
- SECTION LINE
- ADA RAMP
- NORMAL POOL
- LOT NUMBER
- DRAINAGE & UTILITY EASEMENT
- DRAINAGE UTILITY & SANITARY EASEMENT
- NO ACCESS EASEMENT
- RIGHT-OF-WAY
- BACK TO BACK (CURB)
- BASE FLOOD ELEVATION
- BUILDING SETBACK LINE
- VARIABLE
- EXISTING
- PROPOSED GUARDRAIL
- STREET NAME CHANGE

KEY MAP



PREPARED FOR:
LEATHERWOOD TRAILS
SW Corner Co. Line Road & N. Five Points Road,
Greenwood, IN 46143
SITE PLAN
Part of the East 1/2 of the North-East 1/4 of Section 26, Township 14 North, Range 4 East, Pleasant Township, Johnson County, Indiana
SHEET NO.
P201
PROJECT NO.
W240344

PROJECT NO.: W240344
DWG NAME: P201 Site Plan
DESIGNED BY: JCS
DRAWN BY: KMH
CHECKED BY: KCS
DATE: 1/31/2025

REVISIONS AND ISSUES
1/31/2025

KEVIN C. SUMNER P.S. #20400011

WEIHE ENGINEERS
Land Surveying | Civil Engineering
Landscape Architecture
10505 N. College Avenue
Indianapolis, Indiana 46280
weihe.net
317 | 846 - 6611
800 | 452 - 6408
317 | 843 - 0546 fax
ALLAN H. WEIHE, P.E., L.S. - FOUNDER

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Indianapolis, Indiana 46280
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317 | 846 - 6611
800 | 452 - 6408
317 | 843 - 0546 fax
ALLAN H. WEIHE, P.E., L.S. - FOUNDER



Curve Table					
Curve I	Av Length	Ratio	Date	Overhang	Chord Length
C28	23.56'	15.00%	090	S44° 18' 03"E	21.21'
C29	23.56'	15.00%	090	S45° 18' 03"E	21.21'
C30	188.81'	120.00%	090	S45° 30' 36"E	169.83'
C31	23.56'	15.00%	090	S45° 18' 57"W	21.21'
C32	23.56'	15.00%	090	S44° 41' 03"W	21.21'
C33	23.56'	15.00%	090	S45° 18' 57"W	21.21'
C34	23.56'	15.00%	090	N44° 41' 03"W	21.21'
C35	20.02'	2970.00%	000	N00° 33' 13"E	20.02'
C36	61.01'	2970.00%	001	N01° 20' 07"E	61.01'
C37	61.05'	2970.00%	001	N02° 30' 45"E	61.04'
C38	71.13'	2970.00%	001	N03° 47' 10" E	71.13'
C39	20.06'	2970.00%	000	N04° 40' 02"E	20.06'
C40	61.25'	2970.00%	001	N05° 27' 05"E	61.25'
C41	43.75'	2970.00%	001	N06° 27' 51"E	43.75'
C42	29.71'	60.00%	028	N21° 01' 19"E	29.41'
C43	14.47'	60.00%	028	N22° 08' 52"E	14.43'
C44	20.06'	60.00%	030	N23° 12' 18"W	20.06'
C45	35.52'	60.00%	037	S32° 41' 12"E	35.52'
C46	62.87'	60.00%	030	S38° 04' 42"E	62.87'
C47	66.70'	60.00%	034	N37° 04' 24"E	66.32'
C48	68.00'	60.00%	039	N14° 15' 18"W	40.32'
C49	24.26'	60.00%	023	S22° 02' 10"E	24.10'
C50	18.33'	60.00%	018	S01° 49' 07"E	18.26'
C51	53.06'	3030.00%	001	N05° 25' 48"E	53.06'
C52	61.24'	3030.00%	001	N06° 20' 58"E	61.04'
C53	20.06'	3030.00%	000	N04° 34' 51"E	20.06'
C54	71.13'	3030.00%	001	N05° 43' 07"E	71.13'

Curve #	Arc Length	Radius	Data	Chord Length	Chord Length
C55	61.04'	3030.00'	001	N02° 22' 05"E	61.04'
C56	61.01'	3030.00'	001	N01° 14' 58"E	61.01'
C57	19.98'	3030.00'	000	S02° 32' 58"E	19.98'
C58	23.56'	15.00'	000	S45° 18' 21"E	21.21'
C59	23.56'	15.00'	000	N44° 41' 03"W	21.21'
C60	23.56'	15.00'	000	N45° 18' 57"E	21.21'
C61	23.56'	15.00'	000	S44° 41' 03"E	21.21'
C62	11.26'	12.00'	005	S03° 00' 13"W	11.26'
C63	76.61'	12.00'	037	S23° 58' 49"W	75.31'
C64	4.97'	720.00'	000	S42° 28' 00"E	4.97'
C65	81.23'	720.00'	000	S45° 53' 55"W	81.24'
C66	81.54'	720.00'	000	S52° 22' 38"W	81.50'
C67	87.56'	720.00'	007	S59° 06' 20"W	87.51'
C68	76.28'	720.00'	006	S65° 37' 29"W	76.25'
C69	69.83'	720.00'	006	S71° 26' 18"W	69.80'
C70	70.05'	720.00'	006	S70° 07' 15"W	70.02'
C71	73.56'	720.00'	006	S68° 55' 19"W	73.53'
C72	53.56'	720.00'	004	S68° 11' 02"W	53.56'
C73	23.56'	15.00'	000	N44° 41' 03"W	21.21'
C74	23.56'	15.00'	000	N45° 18' 57"E	21.21'
C75	422.28'	3000.00'	008	N04° 23' 35"E	421.83'
C76	235.62'	150.00'	000	S44° 41' 03"E	212.13'
C77	100.83'	150.00'	042	S21° 17' 33"W	100.42'
C78	626.93'	750.00'	048	S66° 17' 33"W	610.86'
C79	84.31'	150.00'	032	N15° 47' 11"W	83.21'

1. THE DESIGN AND CONSTRUCTION OF THIS DEVELOPMENT SHALL COMPLY WITH THE CURRENT CITY OF GREENWOOD CONSTRUCTION SPECIFICATIONS AND STANDARD CONSTRUCTION DETAILS.
2. ALL STREET RIGHT OF WAY INTERSECTIONS TO BE ROUNDED OFF WITH A 15' RADIUS UNLESS OTHERWISE NOTED.
3. ALL INTERIOR RIGHT OF WAY WIDTHS TO BE 60' UNLESS OTHERWISE NOTED.
4. ALL INTERIOR STREET WIDTHS TO BE 26' UNLESS OTHERWISE NOTED.
5. ALL CORNER LOTS WILL BE SUBJECT TO TWO FRONT YARD SETBACKS.

PLANS PREPARED FOR:
NVR, INC., D/B/A RYAN HOMES
8425 WOODFIELD CROSSING BLVD.
INDIANAPOLIS, IN 46240
TELEPHONE: (317) 490-2391
CONTACT PERSON: MATT RAUSCH
EMAIL: MRAUSCH@NVRINC.COM

PLANS PREPARED BY
WEIHE ENGINEERS
10505 N. COLLEGE AVE.
INDIANAPOLIS, INDIANA 46280
TELEPHONE: (317) 846-6611
CONTACT PERSON: KEVIN SUMNER, P.S
EMAIL: SUMNERK@WEIHE.NET

	= PROPERTY BOUNDARY
	= ADJOINER
	= RIGHT-OF-WAY LINE
	= BUILDING SETBACK LINE (B.S.L.)
	= EXISTING EASEMENT
	= EASEMENT
	= EXISTING OVERHEAD UTILITY & POLE
	= EXISTING TREE LINE
	= PROPOSED CURB
	= PROPOSED 5' CONCRETE WALK
	= PROPOSED ASPHALT PATH
	= PROPOSED CENTERLINE
	= SECTION LINE
	= ADA RAMP
	= NORMAL POOL
	= LOT NUMBER
	= DRAINAGE & UTILITY EASEMENT
	= DRAINAGE UTILITY & SANITARY EASEMENT
	= NO ACCESS EASEMENT
	= RIGHT-OF-WAY
	= BACK TO BACK (CURB)
	= BASE FLOOD ELEVATION
	= BUILDING SETBACK LINE
	= VARIABLE
	= EXISTING
	= PROPOSED GUARDRAIL
	= STREET NAME CHANGE

P201

P202

P203

P204

SEE OVERALL
PLAN SHEET P200



PREPARED FOR:	LEATHERWOOD TRAILS	SW Corner Co. Line Road & N. Five Points Road, Greenwood, IN 46143
SHEET NO.	SITE PLAN	
PROJECT NO.		
W240344		

LOCATION: N. 2024 WOODFIELD CROSSING BLVD. GREENWOOD, IN 46143
DATE/TIME: January 31, 2025 - 1:56pm
PLOT BY: hennick

Curve Table					
Curve #	Arc Length	Radius	Delta	Chord Bearing	Chord Length
C1	23.56'	15.00'	090	N44°41'03"W	21.21'
C2	43.40'	60.00'	041	N20°24'18"W	42.48'
C3	44.91'	60.00'	043	N62°34'11"W	43.87'
C4	135.47'	60.00'	129	S31°18'08"W	108.48'
C5	27.54'	60.00'	026	S48°31'59"E	27.30'
C6	53.16'	60.00'	051	S34°18'16"E	51.43'
C7	9.68'	60.00'	009	S04°18'16"E	9.67'
C8	23.56'	15.00'	090	S45°18'57"W	21.21'
C9	53.57'	790.00'	004	S88°20'54"W	53.56'
C10	62.73'	790.00'	005	S84°04'37"W	62.71'
C11	59.16'	790.00'	004	S79°36'00"W	59.15'
C12	284.74'	790.00'	021	S66°58'09"W	283.16'
C13	69.20'	790.00'	005	S53°58'11"W	69.18'
C14	69.20'	790.00'	005	S48°53'12"W	69.18'
C15	55.49'	790.00'	004	S44°18'20"W	55.48'
C16	12.49'	180.00'	004	S40°18'54"W	12.49'
C17	54.69'	180.00'	017	S29°30'20"W	54.48'
C18	63.30'	180.00'	020	S10°47'57"W	63.06'
C19	1.24'	180.00'	000	S00°30'49"W	1.24'
C20	23.56'	15.00'	090	S45°18'57"W	21.21'
C21	23.56'	15.00'	090	S44°41'03"W	21.21'
C22	47.41'	180.00'	015	S07°19'46"E	47.27'
C23	62.89'	180.00'	020	S24°47'04"E	62.58'
C24	53.62'	180.00'	017	S45°18'43"E	53.42'
C25	62.89'	180.00'	020	S61°52'23"E	62.58'
C26	53.62'	180.00'	017	S80°27'56"E	53.72'
C27	2.00'	180.00'	001	S89°21'57"E	2.00'

Curve Table					
Curve #	Arc Length	Radius	Delta	Chord Bearing	Chord Length
C28	23.56'	15.00'	090	N44°41'03"E	21.21'
C29	23.56'	15.00'	090	N45°18'57"E	21.21'
C30	188.81'	120.00'	090	S44°36'36"E	169.93'
C31	23.56'	15.00'	090	S45°18'57"W	21.21'
C32	23.56'	15.00'	090	N44°41'03"W	21.21'
C33	23.56'	15.00'	090	S45°18'57"W	21.21'
C34	23.56'	15.00'	090	N44°41'03"W	21.21'
C35	20.02'	2970.00'	000	N00°33'13"E	20.02'
C36	61.01'	2970.00'	001	N01°20'07"E	61.01'
C37	61.05'	2970.00'	001	N02°30'45"E	61.04'
C38	71.13'	2970.00'	001	N03°47'15"E	71.13'
C39	20.06'	2970.00'	000	N40°40'02"E	20.06'
C40	61.25'	2970.00'	001	N05°27'05"E	61.25'
C41	43.75'	2970.00'	001	N06°27'51"E	43.75'
C42	29.71'	60.00'	028	N21°04'19"E	29.41'
C43	14.47'	60.00'	014	N42°09'52"E	14.43'
C44	66.30'	60.00'	063	S17°23'16"W	63.03'
C45	38.62'	60.00'	037	S32°41'12"E	37.86'
C46	62.83'	60.00'	060	S81°04'42"E	60.00'
C47	66.70'	60.00'	064	N07°04'24"E	63.32'
C48	40.80'	60.00'	039	N14°15'18"W	40.02'
C49	24.28'	60.00'	023	S22°09'10"E	24.10'
C50	18.33'	60.00'	018	S01°49'07"E	18.28'
C51	53.08'	3030.00'	001	N06°25'48"E	53.08'
C52	61.24'	3030.00'	001	N05°20'58"E	61.24'
C53	20.06'	3030.00'	000	N04°34'01"E	20.06'
C54	71.13'	3030.00'	001	N03°43'07"E	71.13'

Curve Table					
Curve #	Arc Length	Radius	Delta	Chord Bearing	Chord Length
C55	61.04'	3000.00'	001	N02°28'09"E	61.04'
C56	61.01'	3000.00'	001	N01°18'54"E	61.01'
C57	19.98'	3000.00'	000	N00°32'58"E	19.98'
C58	23.56'	15.00'	090	S45°18'57"W	21.21'
C59	23.56'	15.00'	090	N44°41'03"W	21.21'
C60	23.56'	15.00'	090	N45°18'57"E	21.21'
C61	23.56'	15.00'	090	S44°41'03"E	21.21'
C62	11.26'	120.00'	005	S03°00'13"W	11.25'
C63	76.61'	120.00'	037	S23°58'49"W	75.31'
C64	4.97'	720.00'	000	S42°28'00"W	4.97'
C65	81.28'	720.00'	008	S45°53'50"W	81.24'
C66	81.54'	720.00'	008	S52°22'38"W	81.50'
C67	87.56'	720.00'	007	S59°06'20"W	87.51'
C68	76.28'	720.00'	006	S65°37'29"W	76.25'
C69	69.83'	720.00'	006	S71°26'18"W	69.80'
C70	70.05'	720.00'	006	S77°00'15"W	70.03'
C71	78.67'	720.00'	006	S82°56'19"W	78.63'
C72	53.58'	720.00'	004	S88°11'02"W	53.56'
C73	23.56'	15.00'	090	N44°41'03"W	21.21'
C74	23.56'	15.00'	090	N45°18'57"E	21.21'
C75	422.28'	3000.00'	008	N04°23'35"E	421.93'
C76	235.62'	150.00'	080	S44°41'03"E	212.13'
C77	108.83'	150.00'	042	S21°17'33"W	107.40'
C78	628.93'	750.00'	048	S66°17'30"E	610.86'
C79	84.31'	150.00'	032	N15°47'11"W	83.21'

Ryan
Homes

PLANS PREPARED FOR:
NVR, INC., D/B/A RYAN HOMES
8425 WOODFIELD CROSSING BLVD.
INDIANAPOLIS, IN 46240
TELEPHONE: (317) 490-2391
CONTACT PERSON: MATT RAUSCH
EMAIL: MRAUSCH@NVRINC.COM



PLANS PREPARED BY
WEIHE ENGINEERS
10505 N. COLLEGE AVENUE,
INDIANAPOLIS, INDIANA 46280
TELEPHONE: (317) 846-6611
CONTACT PERSON: KEVIN SUMNER, P.S.
EMAIL: SUMNERK@WEIHE.NET

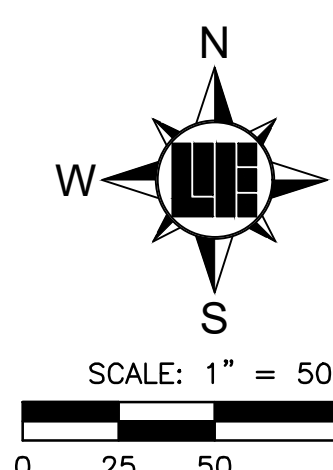
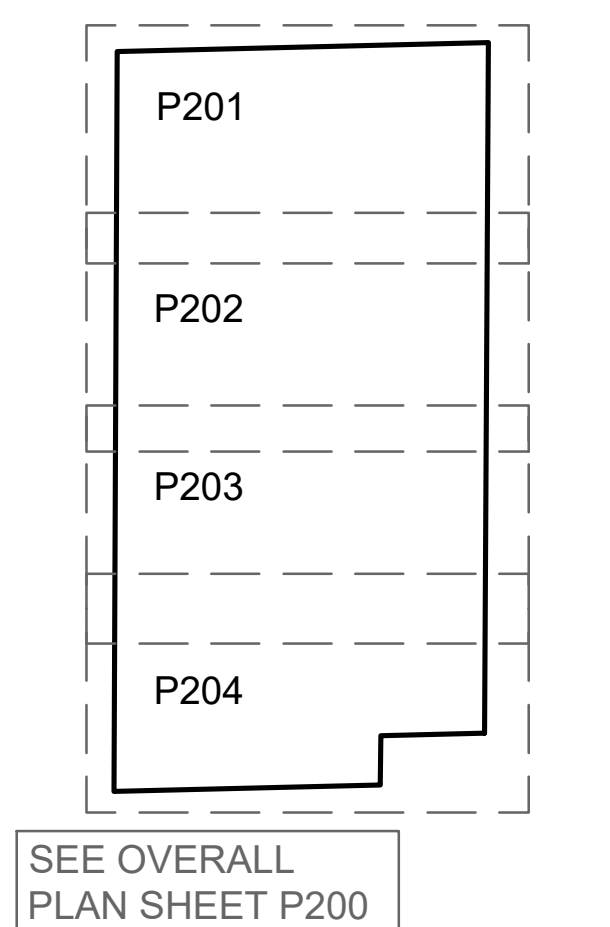
NOTES

- THE DESIGN AND CONSTRUCTION OF THIS DEVELOPMENT SHALL COMPLY WITH THE CURRENT CITY OF GREENWOOD CONSTRUCTION SPECIFICATIONS AND STANDARD CONSTRUCTION DETAILS.
- ALL STREET RIGHT-OF-WAY INTERSECTIONS TO BE ROUNDED OFF WITH A 15' RADIUS UNLESS OTHERWISE NOTED.
- ALL INTERIOR RIGHT-OF-WAY WIDTHS TO BE 60' UNLESS OTHERWISE NOTED.
- ALL INTERIOR STREET WIDTHS TO BE 26' UNLESS OTHERWISE NOTED.
- ALL CORNER LOTS WILL BE SUBJECT TO TWO FRONT YARD SETBACKS.

LEGEND

- PROPERTY BOUNDARY
- ADJOINER
- RIGHT-OF-WAY LINE
- BUILDING SETBACK LINE (B.S.L.)
- EXISTING EASEMENT
- EASEMENT
- EXISTING OVERHEAD UTILITY & POLE
- EXISTING TREE LINE
- PROPOSED CURB
- PROPOSED 5' CONCRETE WALK
- PROPOSED ASPHALT PATH
- PROPOSED CENTERLINE
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- ADA RAMP
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- BACK TO BACK (CURB)
- BASE FLOOD ELEVATION
- BUILDING SETBACK LINE
- VARIABLE
- EXISTING
- PROPOSED GUARDRAIL
- STREET NAME CHANGE

KEY MAP



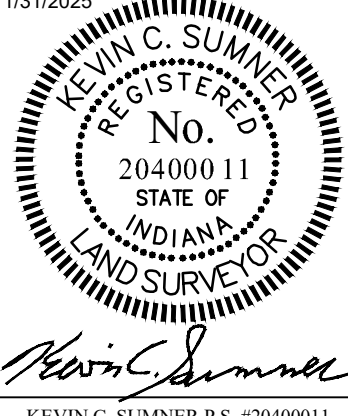
Within Indiana Call
811 or 800-382-5544
24 Hours a Day, 7 Days a Week.
PER INDIANA STATE LAW IC 8-1-26,
IT IS AGAINST THE LAW TO EXCAVATE
WITHOUT NOTIFYING THE UNDERGROUND
UTILITY SERVICE (800) 382-5544
DAYS BEFORE COMMENCING WORK.

PREPARED FOR:
LEATHERWOOD TRAILS
SW Corner Co. Line Road & N. Five Points Road,
Greenwood, IN 46143

SHEET NO.
PROJECT NO.
W240344

SITE PLAN

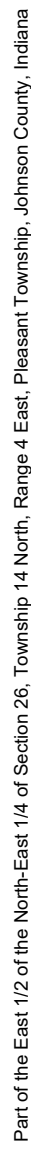
Part of the East 1/2 of the North-East 1/4 of Section 26, Township 14 North, Range 4 East, Pleasant Township, Johnson County, Indiana



REVISIONS AND ISSUES	DATE	BY	PROJECT NO.	DWG NAME	DESIGNED BY	CHECKED BY	DRAWN BY	DATE
			W240344	P203 Site Plan				

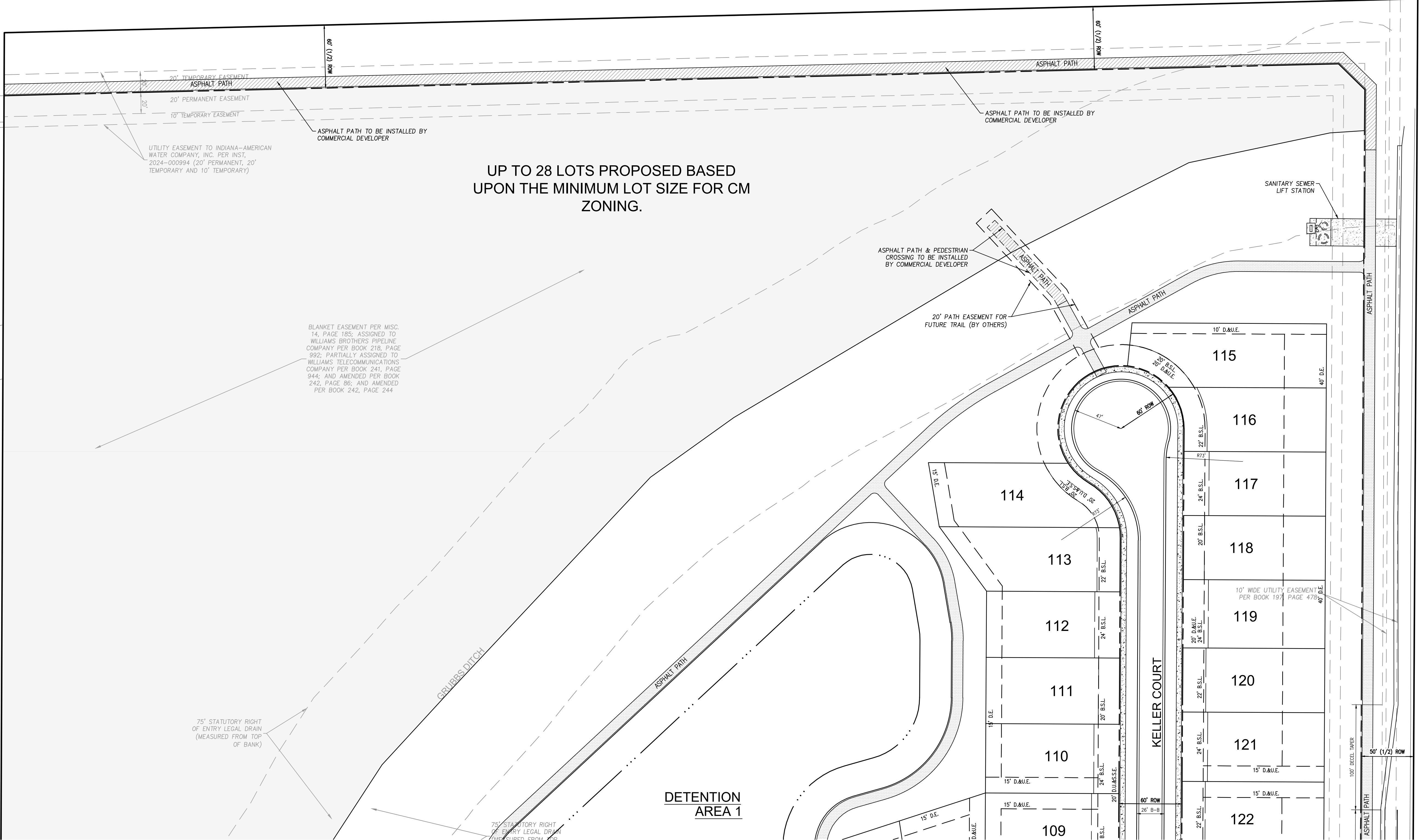
WEIHE ENGINEERS
Land Surveying | Civil Engineering
Landscape Architecture
10505 N. College Avenue
Indianapolis, Indiana 46280
weihe.net
317 | 846 - 6611
800 | 452 - 6408
317 | 843 - 0546 fax
ALLAN H. WEIHE, P.E., L.S. - FOUNDER

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Indianapolis, Indiana 46280
weihe.net
317 | 846 - 6611
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317 | 843 - 0546 fax
ALLAN H. WEIHE, P.E., L.S. - FOUNDER



LOCATION: H:\2024\W240344\Engineering\plan\primary\plan\p205 Primary Plat.dwg
DATE/TIME: January 31, 2025 - 1:58pm
PLOTTER BY: hennick

ARLINGTON FARMS
APARTMENTS
INSTRUMENT #2023-001659
LOT 1



GREENWOOD DEVELOPMENT STANDARDS (CURRENT 2025 ZONING ORDINANCE)		
	CM	RM
MINIMUM LOT SIZE (SQ FT):	20,000 SF	7,700 SF
MAXIMUM LOT SIZE (SQ FT):	100,000 SF	N/A
MINIMUM LOT WIDTH:	N/A	55'
FRONT SETBACK:	20'	20'
SIDEYARD SETBACK:	20'	10'
REAR SETBACK:	30'	25'
IMPERVIOUS LOT COVERAGE MAX:	70%	50%

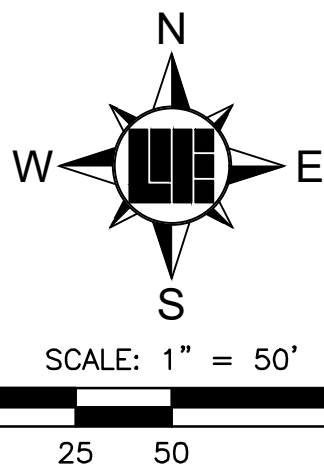
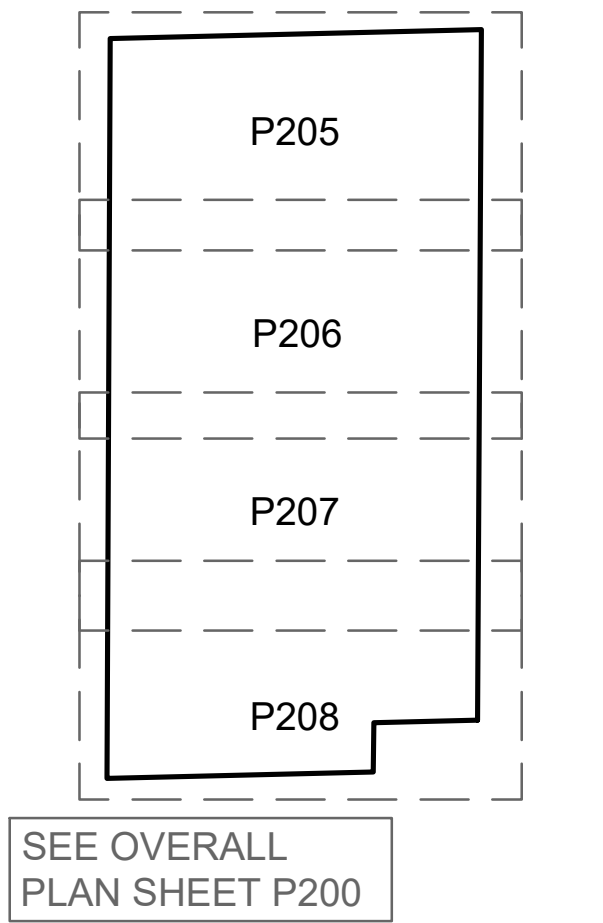
NOTES

- THE DESIGN AND CONSTRUCTION OF THIS DEVELOPMENT SHALL COMPLY WITH THE CURRENT CITY OF GREENWOOD CONSTRUCTION SPECIFICATIONS AND STANDARD CONSTRUCTION DETAILS.
- ALL STREET RIGHT OF WAY INTERSECTIONS TO BE ROUNDED OFF WITH A 15' RADIUS UNLESS OTHERWISE NOTED.
- ALL INTERIOR RIGHT OF WAY WIDTHS TO BE 60' UNLESS OTHERWISE NOTED.
- ALL INTERIOR STREET WIDTHS TO BE 26' UNLESS OTHERWISE NOTED.
- ALL CORNER LOTS WILL BE SUBJECT TO TWO FRONT YARD SETBACKS.

LEGEND

- = PROPERTY BOUNDARY
- - - = ADJOINER
- - - = RIGHT-OF-WAY LINE
- - - = BUILDING SETBACK LINE (B.S.L.)
- - - = EXISTING EASEMENT
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- - - = PROPOSED CURB
- - - = PROPOSED 5' CONCRETE WALK
- - - = PROPOSED ASPHALT PATH
- - - = PROPOSED CENTERLINE
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- - - = BACK TO BACK (CURB)
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- - - = EXISTING
- - - = PROPOSED GUARDRAIL
- - - = STREET NAME CHANGE

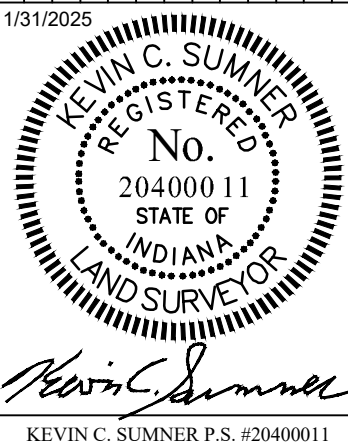
KEY MAP



PREPARED FOR:
LEATHERWOOD TRAILS
SW Corner Co. Line Road & N. Five Points Road,
Greenwood, IN 46143
PRIMARY PLAT
Part of the East 1/2 of the North-East 1/4 of Section 26, Township 14 North, Range 4 East, Pleasant Township, Johnson County, Indiana

SHEET NO.
P205
PROJECT NO.
W240344

REVISIONS AND ISSUES	DATE	BY	PROJECT NO.
			W240344
			DWG NAME
			P205 Primary Plat
			DESIGNED BY
			CU
			DRAWN BY
			KMH
			CHECKED BY
			KCS
			DATE
			1/31/2025



10505 N. College Avenue
Indianapolis, Indiana 46280
weihe.net
317 | 846 - 6611
800 | 452 - 6408
317 | 843 - 0546/ax
ALLAN H. WEIHE, P.E., L.S. - FOUNDER

WEIHE ENGINEERS
Land Surveying | Civil Engineering
Landscape Architecture
Build with confidence.

W240344

SHEET NO. P207	PROJECT NO. W240344	REVISIONS AND ISSUES		1/31/2025		PROJECT NO. W240344		10505 N. College Avenue Indianapolis, Indiana 46280 weibe.net	
		DATE	BY	DWG NAME: P205 Primary Plat	DESIGNED BY: CUTL	DRAWN BY: KMH	CHECKED BY: KCS	DATE: 1/31/2025	
PREPARED FOR: LEATHERWOOD TRAILS SW Corner Co. Line Road & N. Five Points Road, Greenwood, IN 46143 PRIMARY PLAT		 <i>Kevin C. Sumner</i> KEVIN C. SUMNER P.E. #20400001							
PROJECT NO. W240344		Land Surveying / Civil Engineering Landscape Architecture <i>B u i l d w i t h c o n f i d e n c e .</i> ALLAN H. WEIBE, P.E., U.S. - FOUNDER							

CHRISTY W. MACKERODT
INST. #2021-037237



NOTES

- ## LEGEND

- ## KEY MAP



y

Part of the East 1/2 of the North-East 1/4 of Section 26, Township 14 North, Range 4 East, Pleasant Township, Johnson County, Indiana



1. ALL STREETS, CURBS, WALKS, SANITARY SEWERS, STORM SEWERS, DRAINAGE IMPROVEMENTS, AND WATERMAINS TO BE CONSTRUCTED IN CONFORMANCE WITH THE CITY OF GREENWOOD'S CURRENT UTILITY AND INFRASTRUCTURE CONSTRUCTION STANDARDS AND SPECIFICATIONS AND INDIANA AMERICAN WATER STANDARDS.
2. ALL STREET RIGHT OF WAY INTERSECTIONS TO BE ROUNDED OFF WITH A 15' RADIUS UNLESS OTHERWISE NOTED.
3. ALL STREET CURB INTERSECTIONS TO BE ROUNDED WITH A RADIUS OF 25' UNLESS OTHERWISE NOTED.
4. ALL SIDEWALKS TO BE 5' WIDE UNLESS OTHERWISE NOTED.
5. ALL INTERIOR RIGHT OF WAY WIDTHS TO BE 60' UNLESS OTHERWISE NOTED.
6. ALL INTERIOR STREET WIDTHS TO BE 26' UNLESS OTHERWISE NOTED.
7. ALL WATERMAINS TO BE 8" PVC C900 DR14, AND 3" HDPE AT CUL-DE-SACS.
8. LOCATIONS OF UTILITIES SHOWN WITHIN THESE PLANS ARE BASED UPON INFORMATION OBTAINED FROM UTILITY COMPANIES OR THEIR REPRESENTATIVES AND FIELD EVIDENCE OF IMPROVEMENTS VISIBLE ON THE GROUND SURFACE. EXACT LOCATIONS OF UNDERGROUND UTILITIES HAVE NOT BEEN VERIFIED. THE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES AND REQUEST FIELD LOCATIONS OF SUCH WITHIN THE WORK AREA PRIOR TO COMMENCING EXCAVATION ACTIVITIES. THE CONTRACTOR SHALL REPORT ANY VARIATIONS FROM THE LOCATIONS SHOWN ON THE MAPS TO THE CITY ENGINEER'S OFFICE. EXECUTION OF THE WORK TO THE ENGINEER IN ADVANCE OF CONSTRUCTION.
9. THE CONTRACTOR SHALL COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES AND SHALL PAY THE COST OF PROTECTION, RELOCATION, REMOVAL, CONNECTION, AND/OR RECONNECTION OF UTILITIES AS

NECESSARY FOR EXECUTION OF THE WORK

10. MATERIALS AND WORKMANSHIP SHALL COMPLY WITH ALL APPLICABLE CODES, SPECIFICATIONS, LOCAL ORDINANCES, INDUSTRY STANDARDS AND UTILITY COMPANY REGULATIONS
11. TRAFFIC CONTROL DEVICES SHALL BE FURNISHED, ERECTED, MAINTAINED AND REMOVED BY THE CONTRACTOR IN ACCORDANCE WITH THE FOLLOWING UNIFORM TRAFFIC CONTROL DEVICES. TYPE C LIGHTS SHALL BE REQUIRED ON ALL BARRICADES, DRUMS AND SIMILAR DEVICES IN USE AT NIGHT.
12. ALL DIMENSIONS SHOWN ARE MEASURED TO THE BACK OF CURB, UNLESS OTHERWISE SHOWN.
13. ALL CORNER LOTS WILL BE SUBJECT TO TWO FRONT YARD SETBACKS
14. THE DEVELOPMENT IS PROPOSED TO BE SERVED BY PUBLIC SANITARY SEWERS, WATER MAINS, STORM SEWERS, GAS, ELECTRIC, TELEPHONE AND CABLE TV. THE APPLICABLE UTILITIES HAVE, OR WILL HAVE, SUFFICIENT CAPACITY TO PROVIDE SAID UTILITIES AT A LEVEL OF SERVICE TO MEET THE NEEDS OF THE DEVELOPMENT. SEE LIST OF OPERATING AUTHORITIES ON SHEET P001.
15. ON-SITE DETENTION SHALL BE ENGINEERED AND SHOWN AS LOTS FURTHER DEVELOP.
16. ALL WATER SHALL BE INSTALLED WITH 54 INCHES (MINIMUM) TO 78 INCHES (MAXIMUM) OF COVER FROM FINISH GRADE.
17. FIRE HYDRANTS NEED TO BE 18-24 INCHES OFF THE BACK OF CURB.
18. ENSURE THAT WATER MAIN STAYS 4 FEET MINIMUM FROM THE BACK OF THE CURB.
19. PROPOSED WATER MAIN THAT CROSSES STREETS AND IS WITHIN 5 FEET OF THE PAVEMENT LOADING AREA SHALL HAVE GRANULAR BACKFILL AND WILL BE SHOWN ON CONSTRUCTION DOCUMENTS.

PROPOSED POND REQUIREMENT

NOTES

1. GUARDRAILS, PER GREENWOOD ORDINANCE, SHALL BE INSTALLED ACROSS THE FRONTAGE AND WRAP AROUND THE RADI OF ALL DETENTION FACILITIES ABUTTING STREET FRONTAGE REGARDLESS OF DISTANCE FROM STREET FRONTAGE.
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3. WET DETENTION FACILITY SIGNAGE AND FLOATATION BUOYS SHALL BE INSTALLED AT A MAXIMUM SPACING OF 400 FEET FOR ALL WET DETENTION FACILITIES.
4. AIR DECONTAMINATION METHODS, SUCH AS BUT NOT LIMITED TO SUBMERGED AERATION EQUIPMENT, SHALL BE INSTALLED FOR ALL WET DETENTION FACILITIES TO CIRCULATE THE DETENTION VOLUME TO MEET OR EXCEED CITY OF GREENWOOD STANDARDS.
5. WET POND OR CIRCULATION, SAFETY RAMP, AND AERATION EQUIPMENT ARE PRELIMINARY IN LOCATION/DESIGN AND WILL BE FINALIZED FOR CONSTRUCTION PLAN APPROVAL.

Ryan
Homes

PLANS PREPARED FOR:
NVR, INC., D/B/A RYAN HOMES
8425 WOODFIELD CROSSING BLVD.
INDIANAPOLIS, IN 46240
TELEPHONE: (317) 490-2391
CONTACT PERSON: MATT RAUSCH
EMAIL: MRAUSCH@NVRINC.COM

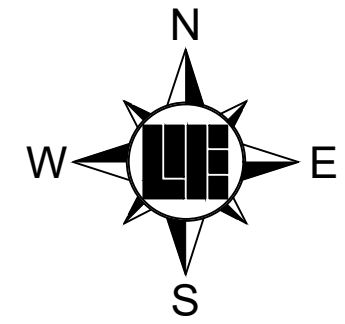
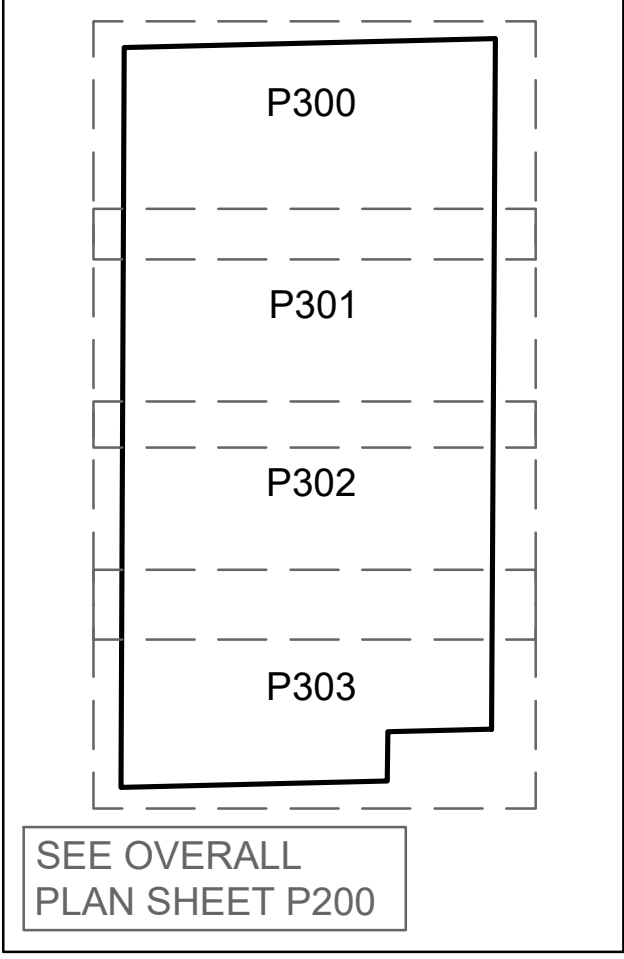


PLANS PREPARED BY
WEIHE ENGINEERS
 10505 N. COLLEGE AVE.
 INDIANAPOLIS, INDIANA 46280
 TELEPHONE: (317) 846-6611
 CONTACT PERSON: KEVIN SUMNER, P.S.
 EMAIL: SUMNERK@WEIHE.NET

LEGEND

- | | |
|--------------|--|
| | = PROPERTY BOUNDARY |
| | = ADJOINER |
| | = RIGHT-OF-WAY LINE |
| | = BUILDING SETBACK LINE (B.S.L.) |
| | = EXISTING EASEMENT |
| | = EASEMENT |
| | = EXISTING OVERHEAD UTILITY & POLE |
| | = EXISTING TREE LINE |
| | = PROPOSED CURB |
| | = PROPOSED 5' CONCRETE WALK |
| | = PROPOSED ASPHALT PATH |
| | = PROPOSED CENTERLINE |
| | = SECTION LINE |
| | = ADA RAMP |
| | = NORMAL POOL |
| D.B.U.E. | = LOT NUMBER |
| D.U.A.S.S.E. | = DRAINAGE & UTILITY EASEMENT |
| N.A.E. | = DRAINAGE UTILITY & SANITARY EASEMENT |
| ROW | = NO ACCESS EASEMENT |
| R.B. | = RIGHT-OF-WAY |
| B.FE | = BACK TO BACK (CURB) |
| B.S.L. | = BASE FLOOD ELEVATION |
| VAR. | = BUILDING SETBACK LINE |
| EX. | = VARIABLE |
| | = EXISTING |
| | = PROPOSED GUARDRAIL |
| | = STREET NAME CHANGE |

KEY MAP



811

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811 or 800-382-5544
24 Hours a Day, 7 Days a Week.*

PER INDIANA STATE LAW IC 8-1-26,
IT IS AGAINST THE LAW TO EXCAVATE
WITHOUT NOTIFYING THE UNDERGROUND
LOCATION SERVICE TWO (2) WORKING
DAYS BEFORE COMMENCING WORK.

PREPARED FOR:

LEATHERWOOD TRAILS

SW Corner Co. Line Road & N. Five Points Road,
Greenwood, IN 46143

UTILITY PLAN

SHEET NO.

PROJECT NO.

W240344

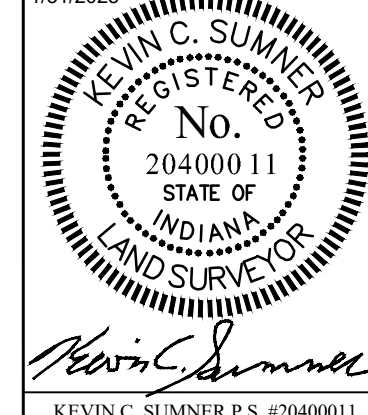
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Indianapolis, Indiana 46280
weibe.net

UNIVERSITÄT
WIEN VIENNA
UNIVERSITY OF
HEIDELBERG

ENGINEERS
Land Surveying | Civil Engineering
Landscape Architecture
317 | 846 - 6611
800 | 452 - 6408
317 | 843 - 0546 *fax*

ALLAN H. WEIHE, P.E., L.S. - FOUNDER

REVISIONS AND ISSUES	DATE	BY	PROJECT NO.
			V2040344
			DWG NAME:
			P300 Utility Plan
			DESIGNED BY:
			GJJ
			DRAWN BY:
			KXH
			CHECKED BY:
			KCS
			DATE:



11

Part of the East 1/2 of the North-East 1/4 of Section 26, Township 14 North, Range 4 East, Pleasant Township, Johnson County, Indiana

ARLINGTON FARMS
APARTMENTS
INSTRUMENT #2023-001659
LOT 1
WEST LINE E 1/2 NE 1/4
SEC. 26-T14N-R4E

ARLINGTON FARMS
APARTMENTS LP
INST. #2022-027494

JASKARAN & CHARAN
SEKHON
INST. #2023-019143

C.A.
"C"

C.A.
"C"

DETENTION
AREA 1
N.P. = 826.00
100 YR. = 829.78
SPILLWAY = 830.50
T.O.B. = 832.50

C.A.
"B"

DETENTION
AREA 2
N.P. = 828.50
100 YR. = 831.75
SPILLWAY = 832.30
T.O.B. = 834.50

C.A.
"C"

N FIVE POINTS ROAD
(PUBLIC ROW)

C.A.
"D"

NOTES:

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Ryan
Homes

WEIHE
ENGINEERS

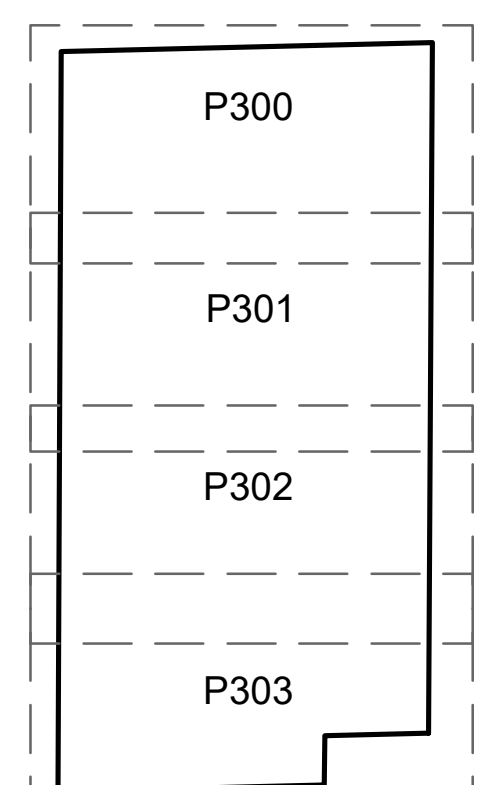
PLANS PREPARED FOR:
NVR, INC., D/B/A RYAN HOMES
8425 WOODFIELD CROSSING BLVD.
INDIANAPOLIS, IN 46240
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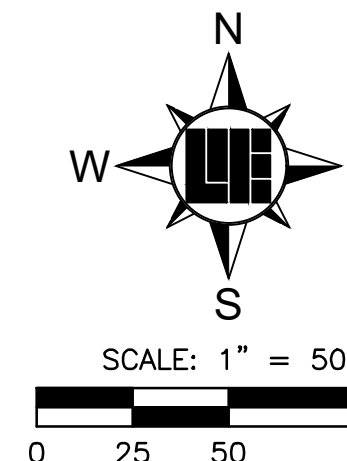
LEGEND

- PROPERTY BOUNDARY
- ADJOINER
- RIGHT-OF-WAY LINE
- BUILDING SETBACK LINE (B.S.L.)
- EXISTING EASEMENT
- EASEMENT
- EXISTING OVERHEAD UTILITY & POLE
- EXISTING TREE LINE
- PROPOSED CURB
- PROPOSED 5" CONCRETE WALK
- PROPOSED ASPHALT PATH
- PROPOSED CENTERLINE
- SECTION LINE
- ADA RAMP
- NORMAL POOL
- LOT NUMBER
- DRAINAGE & UTILITY EASEMENT
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- NO ACCESS EASEMENT
- RIGHT-OF-WAY
- BACK TO BACK (CURB)
- BASE FLOOD ELEVATION
- BUILDING SETBACK LINE
- VARIABLE
- EXISTING
- PROPOSED GUARDRAIL
- STREET NAME CHANGE

KEY MAP



SEE OVERALL
PLAN SHEET P200



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PER INDIANA STATE LAW IC 8-1-26,
IT IS AGAINST THE LAW TO EXCAVATE
WITHOUT NOTIFYING THE UNDERGROUND
LOCATION SERVICE TWO (2) WORKING
DAYS BEFORE COMMENCING WORK.

PREPARED FOR:
LEATHERWOOD TRAILS

SW Corner Co. Line Road & N. Five Points Road,
Greenwood, IN 46143

UTILITY PLAN

SHEET NO.

P301

PROJECT NO.

W240344

10505 N. College Avenue
Indianapolis, Indiana 46280
weihe.net

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ENGINEERS

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Landscape Architecture

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800 | 452 - 6408
317 | 843 - 0546 fax

ALLAN H. WEIHE, P.E., L.S. - FOUNDER

PROJECT NO.
W240344

DWG NAME
P301 Utility Plan

DESIGNED BY
P.S.

DRAWN BY
KMH

CHECKED BY
KCS

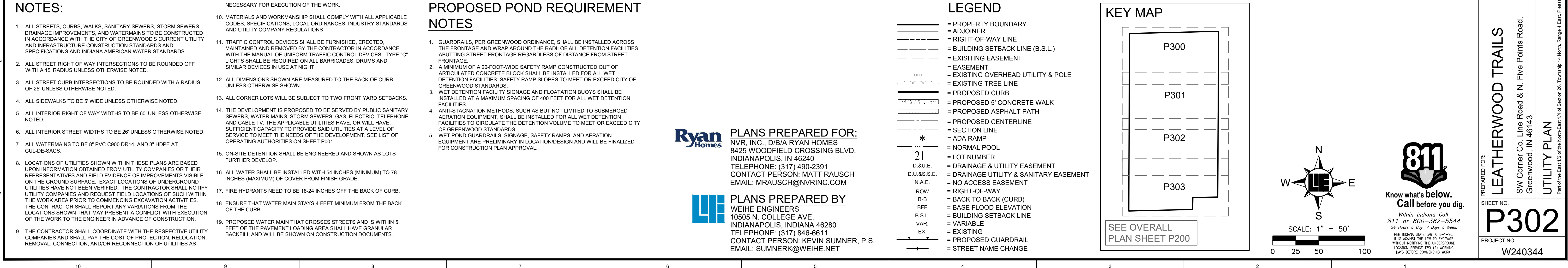
DATE
01/31/2025

REVISIONS AND ISSUES

1/31/2025



KEVIN C. SUMNER P.S. #20400011



LOCATION: 142024 W4240344 (Engineering/Utility/General) per/field map/3000 USFS, Planning
DATE/TITLE: January 31, 2025 - 1:27pm
PLOTTER BY: hennick

NOTES:

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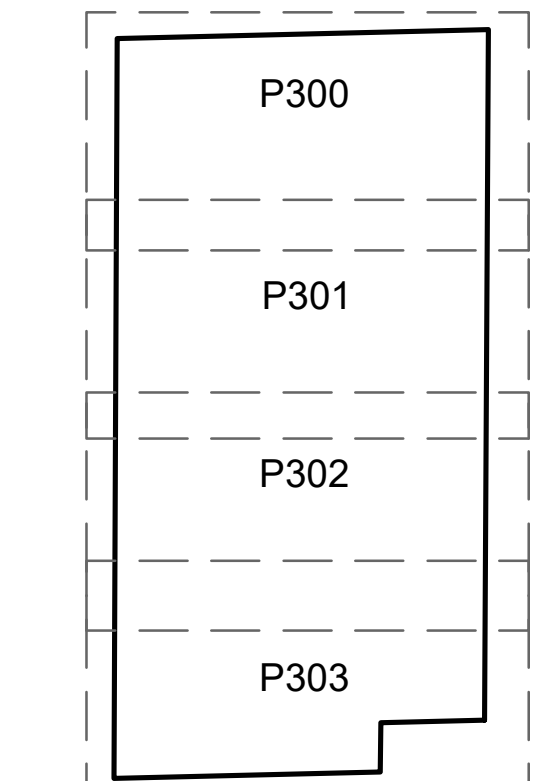


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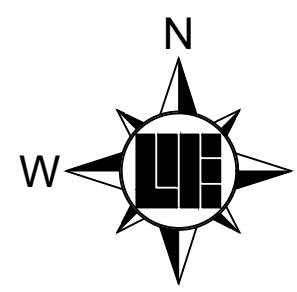
LEGEND

- = PROPERTY BOUNDARY
- - - = ADJOINER
- - - = RIGHT-OF-WAY LINE
- - - = BUILDING SETBACK LINE (B.S.L.)
- - - = EXISTING EASEMENT
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KEY MAP



SEE OVERALL
PLAN SHEET P200



LEATHERWOOD TRAILS
SW Corner Co. Line Road & N. Five Points Road,
Greenwood, IN 46143

UTILITY PLAN

SHEET NO.

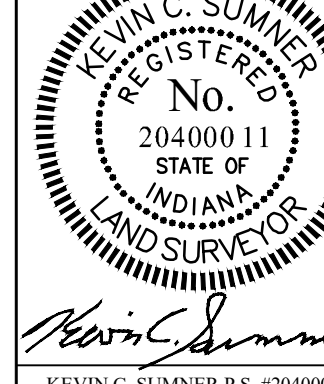
P303

PROJECT NO.

W240344

REVISIONS AND ISSUES

1/31/2025



KEVIN C. SUMNER P.S. #20400011

Part of the East 1/2 of the North 1/4 of Section 26, Township 14 North, Range 4 East, Pleasant Township, Johnson County, Indiana

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CHRISTY W. MACKERDITCH
INST. #2021-037237

JASVIR SINGH, MICKY SINGH BALIWA,
& GURCHARAN SINGH PANNU
INST. #2020-030133

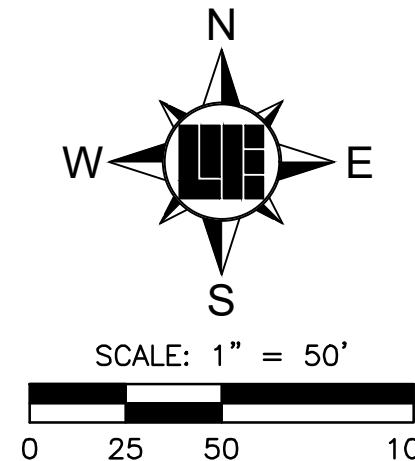
GREWAL PROPERTIES LLC
INST. #2016-028980

DOUGLAS & ELIZABETH EBLEN
INST. #2008-018178



LEGEND

	= PROPERTY BOUNDARY		= SECTION LINE
	= ADJOINER		= ADA RAMP
	= RIGHT-OF-WAY LINE		= LOT NUMBER
	= BUILDING SETBACK LINE (B.S.L.)		= DRAINAGE & UTILITY EASEMENT
	= EXISTING EASEMENT		= DRAINAGE UTILITY & SANITARY EASEMENT
	= EASEMENT		= RIGHT-OF-WAY
	= PROPOSED WATER, VALVE, AND REDUCER		= BACK TO BACK (CURB)
	= EXISTING WATER, VALVE, & HYDRANT		= BASE FLOOD ELEVATION
	= EXISTING OVERHEAD UTILITY & POLE		= BUILDING SETBACK LINE
	= EXISTING TREE LINE		= VARIABLE
	= PROPOSED FIRE HYDRANT		= EXISTING
	= PROPOSED BLOW OFF VALVE		= PROPOSED GUARDRAIL
	= PROPOSED STORM SEWER LINE		= CLUSTER MAILBOX
	= PROPOSED STORM MANHOLE		
	= PROPOSED STORM INLET		
	= PROPOSED CONCRETE END SECTION		
	= EXISTING STORM SEWER LINE		
	= EXISTING STORM INLET		
	= NORMAL POOL		
	= PROPOSED SANITARY SEWER LINE		
	= PROPOSED SANITARY SEWER MANHOLE		
	= EXISTING SANITARY SEWER MANHOLE		
	= PROPOSED CURB		
	= PROPOSED 5' CONCRETE WALK		
	= PROPOSED ASPHALT PATH		
	= PROPOSED CENTERLINE		



PREPARED FOR: **LEATHERWOOD TRAILS**
SW Corner Co. Line Road & N. Five Points Road,
Greenwood, IN 46143
SHEET NO. **P400**
PROJECT NO. **W2403344**

PROJECT NO.	V240344	DATE	1/31/2025
BY			
DWG NAME	P400 Street Time Plan		
DESIGNED BY			
CHECKED BY			
DRAWN BY			
KWH			
CHECKED BY			
KCS			
DATE			1/31/2025

KEVIN C. SUMNER P.S. #20400011

10505 N. College Avenue
Indianapolis, Indiana 46280
weihe.net

317 | 846 - 6611
800 | 452 - 6408
317 | 843 - 0546/*fax*

ALLAN H. WEIHE, P.E., L.S. • FOUNDER

LEI WEIHE
ENGINEERS
Land Surveying | Civil Engineering
Landscape Architecture
Build with confidence.

LOCATION: H:\2024\W240344\Engineering\preliminary plot\plot files\P400 Street Tree Plan.dwg
 ANNOT: P400
 DATE/TIME: January 31, 2025 - 1:27pm
 PLOTTED BY: hennrik

LOCATION: 14200 WOODFIELD CROSSING BLVD. (Engineering/Construction) Preliminary plan/last time/400 Street Tree Planting
DATE/TIME: January 31, 2025 - 1:27pm
PLOTED BY: hennick

STREET TREE REQUIREMENTS		
MUNICIPALITY REQUIREMENTS:	REQUIRED:	PROVIDED:
GREENWOOD ARTICLE 25 SECTION 10-03-06.1. STREET TREES: - 1 TREE PER 40 FEET OF FRONTAGE	TOMES WAY (2282 LF) - 56 TREES KELLER DRIVE (1732 LF) - 44 TREES DENDY DRIVE (1523 LF) - 38 TREES BAER DRIVE (4918 LF) - 124 TREES KELLER COURT (1187 LF) - 30 TREES KELLER CIRCLE (1182 LF) - 30 TREES	TOMES WAY - 54 TREES KELLER DRIVE - 30 TREES DENDY DRIVE - 31 TREES BAER DRIVE - 96 TREES KELLER COURT - 21 TREES KELLER CIRCLE - 23 TREES



PLANS PREPARED FOR:
NVR, INC., D/B/A RYAN HOMES
8425 WOODFIELD CROSSING BLVD.
INDIANAPOLIS, IN 46240
TELEPHONE: (317) 490-2391
CONTACT PERSON: MATT RAUSCH
EMAIL: MRAUSCH@NVRINC.COM

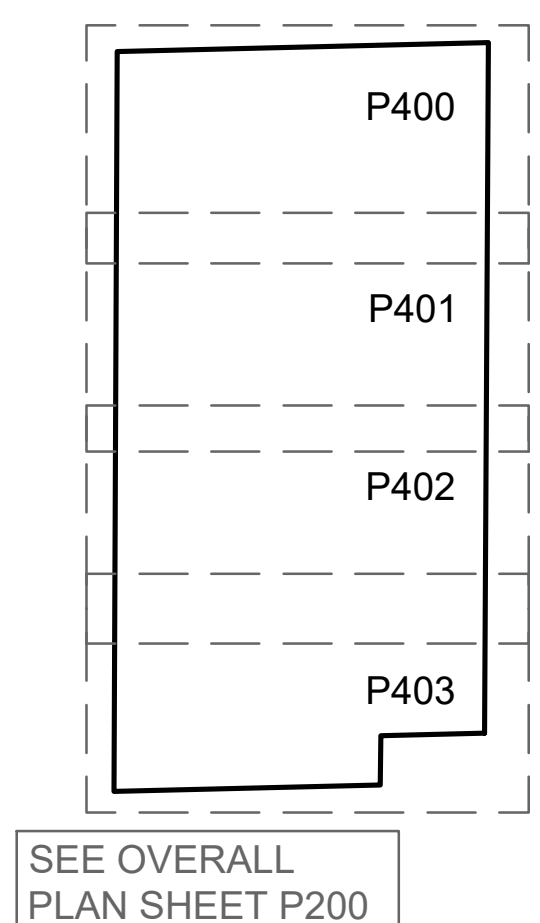


PLANS PREPARED BY
WEIHE ENGINEERS
10505 N. COLLEGE AVE.
INDIANAPOLIS, INDIANA 46280
TELEPHONE: (317) 846-6611
CONTACT PERSON: KEVIN SUMNER, P.S.
EMAIL: SUMNERK@WEIHE.NET

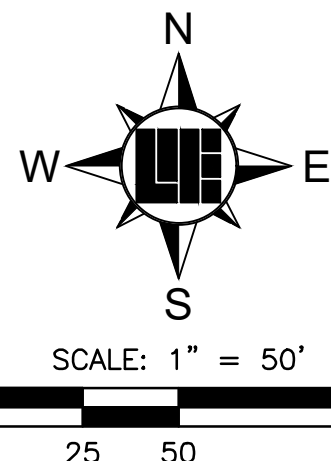
- LEGEND**
- PROPERTY BOUNDARY
 - ADJOINER
 - RIGHT-OF-WAY LINE
 - BUILDING SETBACK LINE (B.S.L.)
 - EXISTING EASEMENT
 - EASEMENT
 - PROPOSED WATER, VALVE, AND REDUCER
 - EXISTING WATER, VALVE, & HYDRANT
 - EXISTING OVERHEAD UTILITY & POLE
 - EXISTING TREE LINE
 - PROPOSED FIRE HYDRANT
 - PROPOSED BLOW OFF VALVE
 - PROPOSED STORM SEWER LINE
 - PROPOSED STORM MANHOLE
 - PROPOSED STORM INLET
 - PROPOSED CONCRETE END SECTION
 - EXISTING STORM SEWER LINE
 - EXISTING STORM INLET
 - NORMAL POOL
 - PROPOSED SANITARY SEWER LINE
 - PROPOSED SANITARY SEWER MANHOLE
 - EXISTING SANITARY SEWER MANHOLE
 - PROPOSED CURB
 - PROPOSED 5' CONCRETE WALK
 - PROPOSED ASPHALT PATH
 - PROPOSED CENTERLINE

- SECTION LINE
- ADA RAMP
- LOT NUMBER
- DRAINAGE & UTILITY EASEMENT
- DRAINAGE UTILITY & SANITARY EASEMENT
- RIGHT-OF-WAY
- BACK TO BACK (CURB)
- BASE FLOOD ELEVATION
- BUILDING SETBACK LINE
- VARIABLE
- EXISTING
- PROPOSED GUARDRAIL
- CLUSTER MAILBOX

KEY MAP



SEE OVERALL
PLAN SHEET P200



Within Indiana Call
811 or 800-382-5544
24 Hours a Day, 7 Days a Week.
PER INDIANA STATE LAW IC 8-1-26,
IT IS AGAINST THE LAW TO EXCAVATE
WITHOUT NOTIFYING THE UNDERGROUND
LOCATION SERVICE TWO (2) WORKING
DAYS BEFORE COMMENCING WORK.

PREPARED FOR:
LEATHERWOOD TRAILS

SW Corner Co. Line Road & N. Five Points Road,
Greenwood, IN 46143

STREET TREE PLAN

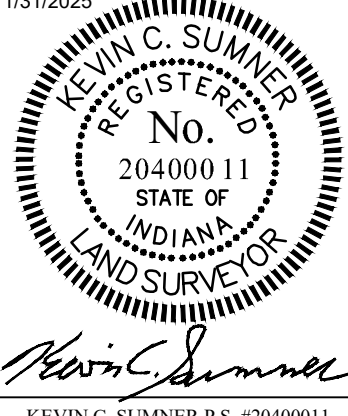
SHEET NO.

P402

PROJECT NO.

W240344

PROJECT NO.	BY	DATE	REVISIONS AND ISSUES
W240344			
DWG NAME			
DESIGNED BY			
CHECKED BY			
DRAWN BY			
DATE			



KEVIN C. SUMNER P.S. #20400011

Part of the East 1/2 of the North-East 1/4 of Section 26, Township 14 North, Range 4 East, Pleasant Township, Johnson County, Indiana

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